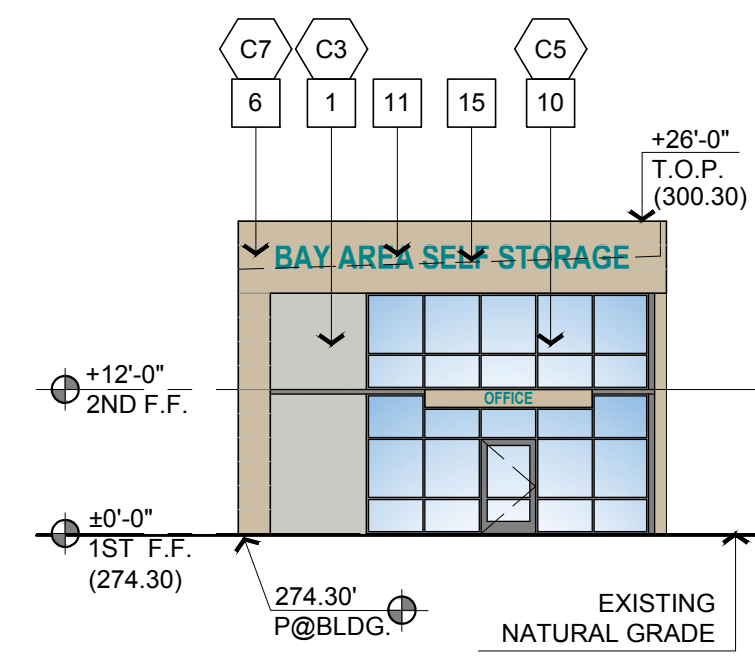
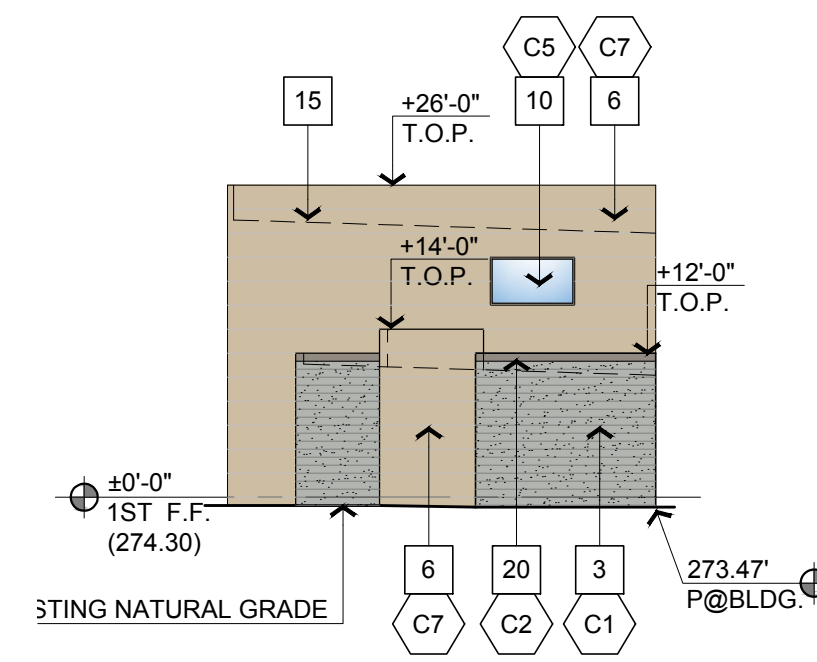


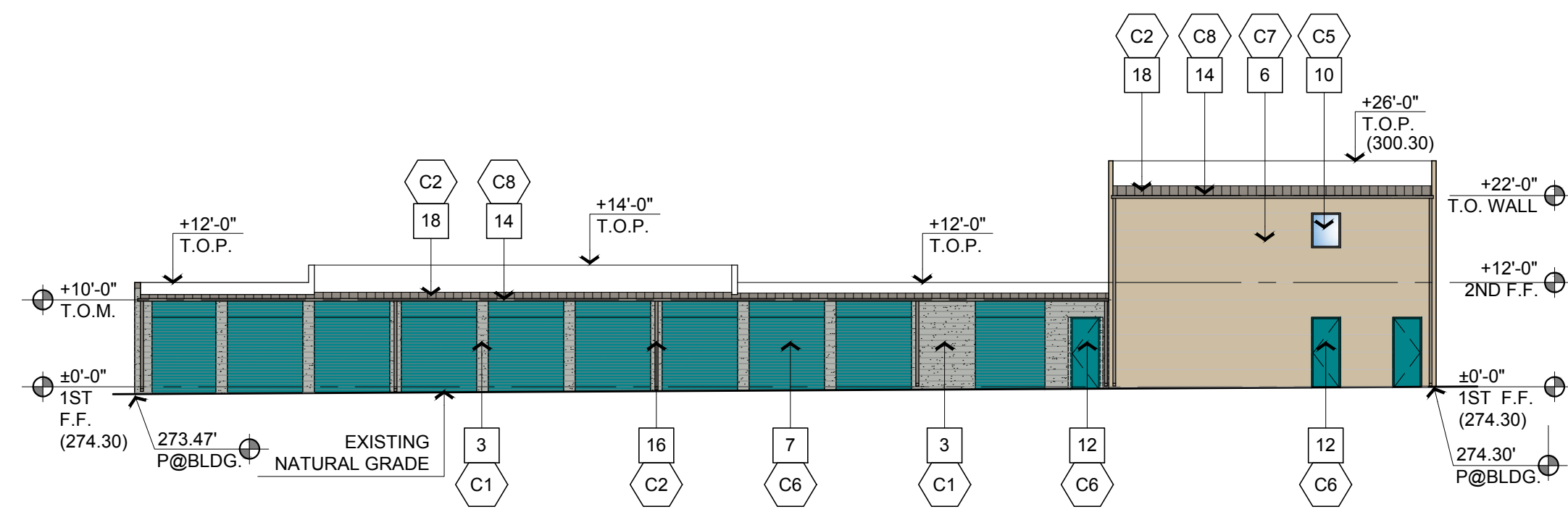
BUILDING C - EAST ELEVATION ①



BUILDING C - SOUTH ELEVATION ②



BUILDING C - NORTH ELEVATION ③



BUILDING B - WEST ELEVATION ④

KEYNOTES

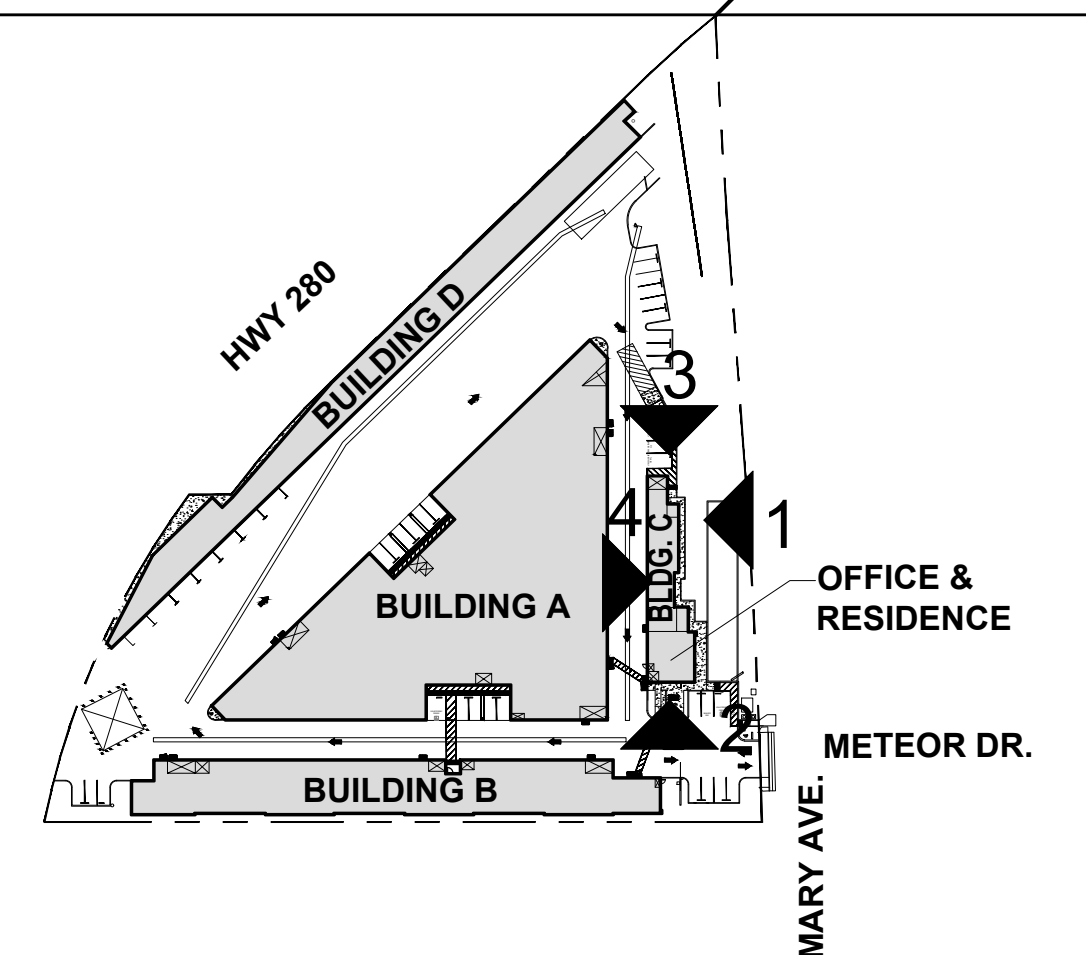
1 STUCCO FINISH.	13 STUCCO FINISH BAND.
2 HORIZONTAL & VERTICAL STUCCO REVEAL.	14 PREFINISHED METAL GUTTER.
3 INTEGRAL CMU BLOCK.	15 ROOF LINE BEHIND.
4 METAL AWNING.	16 PREFINISHED METAL DOWNSPOUT.
5 FAUX ROLL-UP DOORS FOR DISPLAY ONLY.	17 PARAPET BEYOND.
6 ARCHITECTURAL METAL FLUSH PANEL.	18 PREFINISHED STANDING SEAM METAL ROOF.
7 ROLL-UP DOORS.	19 PARAPET.
8 TELESCOPIC ALUMINUM ENTRY GLASS DOOR.	20 PREFINISHED METAL FLASHING.
9 ELEVATOR PENTHOUSE.	21 ADDRESS IDENTIFICATION NUMBER PER CITY AND FIRE DEPARTMENT STANDARDS.
10 STOREFRONT GLAZING WITH VISION GLASS.	22 INTERNAL DOWNSPOUT AND OVERFLOW. DAYLIGHT 12" O.C. ABOVE F.F. PROVIDE BRONZE NOZZLE.
10B STOREFRONT GLAZING WITH SPANDREL GLASS.	23 ROOF MOUNTED FAN, SCREENED BY PARAPET.
11 SIGNAGE UNDER SEPARATE PERMIT. SIGNS TO COMPLY WITH CITY STANDARDS.	
12 SWING DOOR, PAINTED TO MATCH COLOR C6.	

COLOR & MATERIAL BOARD

	C1 ORCO BLOCK. 8x8x16 SHOT BLAST COLOR: "BLACK 250". WEIGHT: MEDIUM
	C2 COLOR TO MATCH MBCI SIGNATURE 300 COLOR: SLATE GRAY
	C3 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: X-16 SILVER GREY
	C4 LA HABRA STUCCO FINISH FINISH: SAND FLOAT 20/30 COLOR: P-2090 THUNDER SKY
	C5 STOREFRONT GLASS B - CLEAR
	C6 JANUS INTERNATIONAL COLOR: DARK TEAL
	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"

GENERAL NOTES

KEY PLAN



BAY AREA SELF STORAGE
CUPERTINO, CA

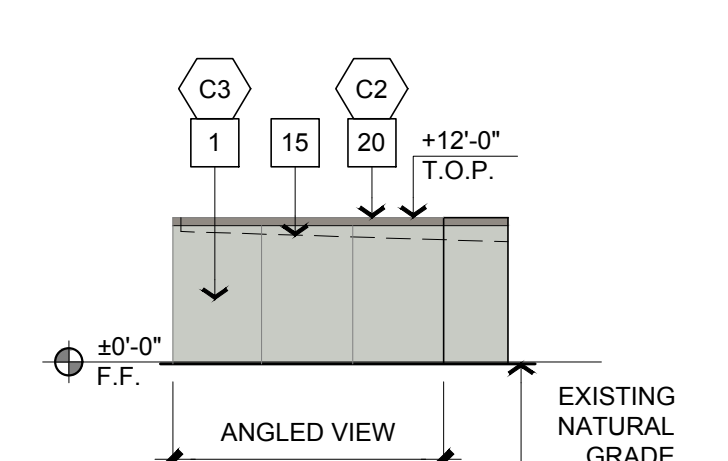
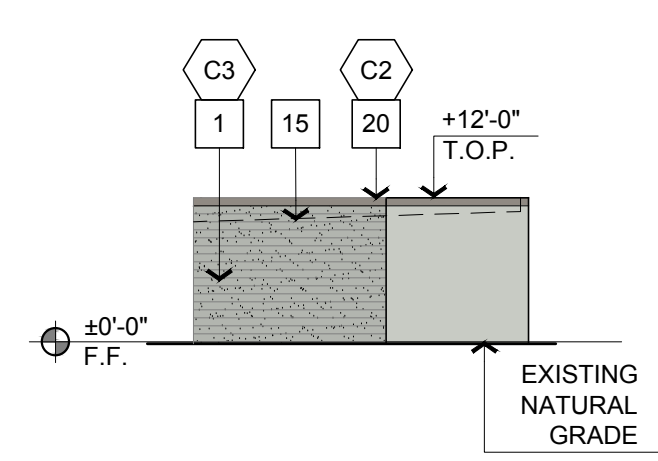
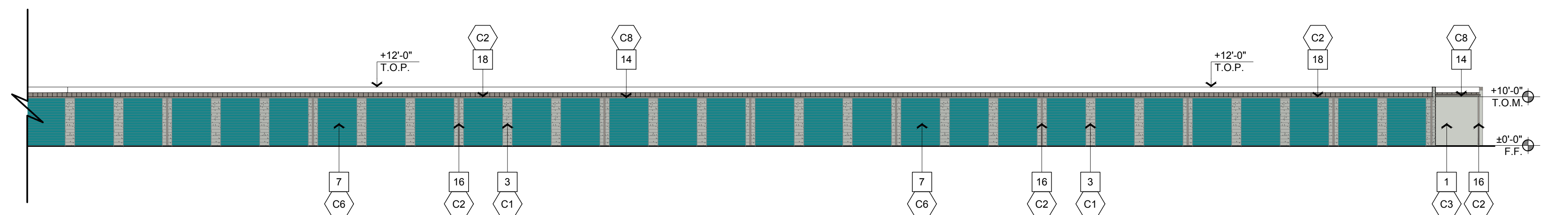
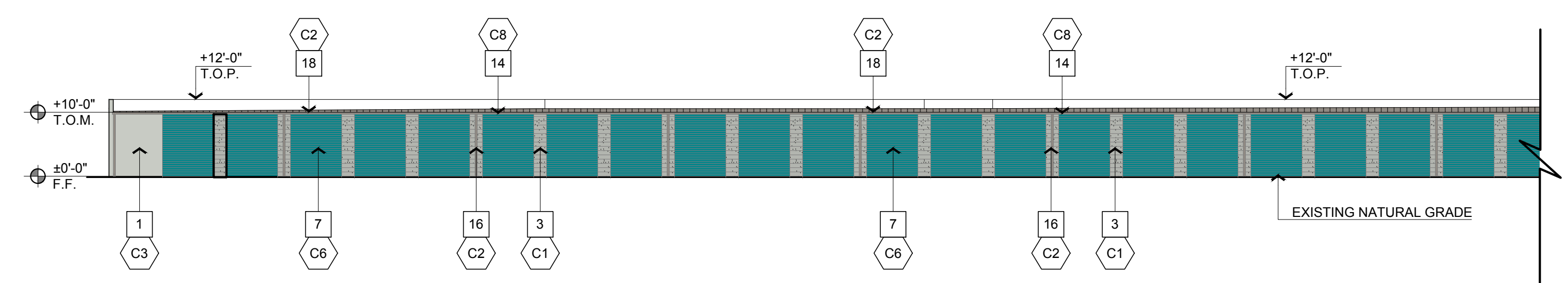
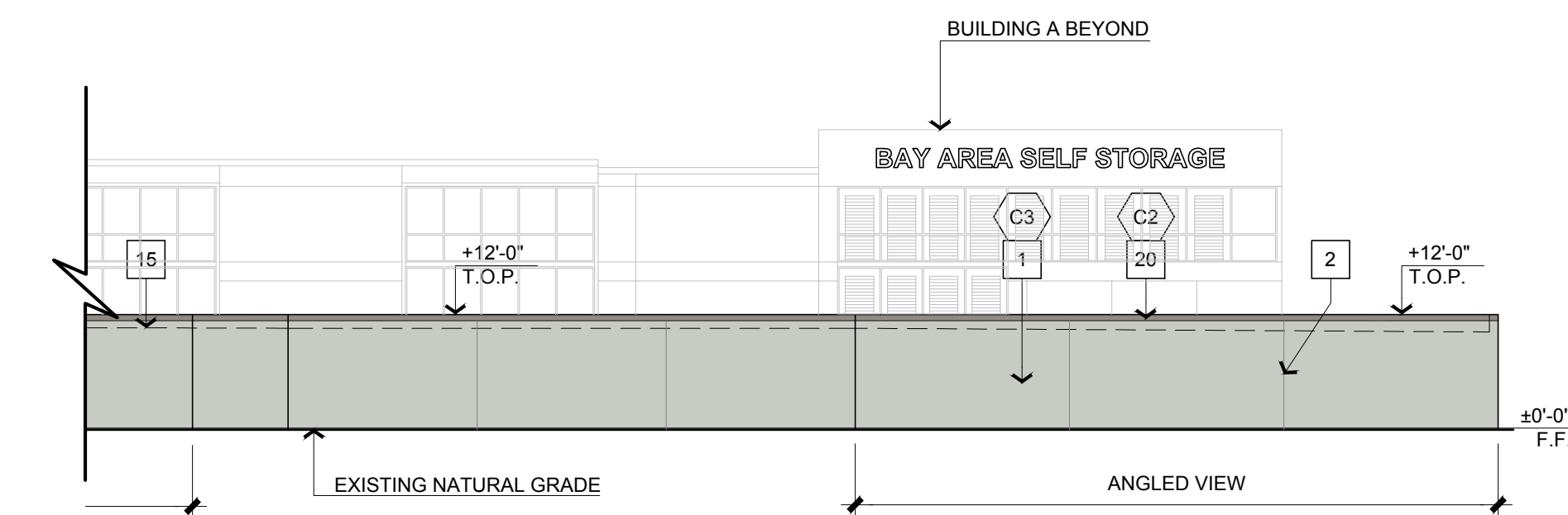
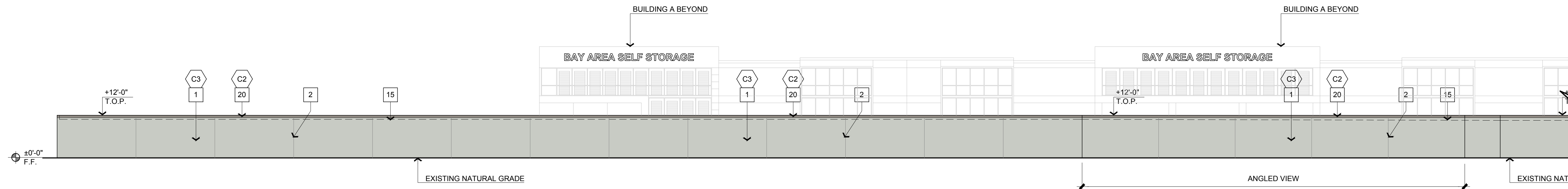
ELEVATIONS

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JOB NUMBER: 17-606
SCALE: 1/16"=1'-0"
DATE: 11/12/2020

A.14

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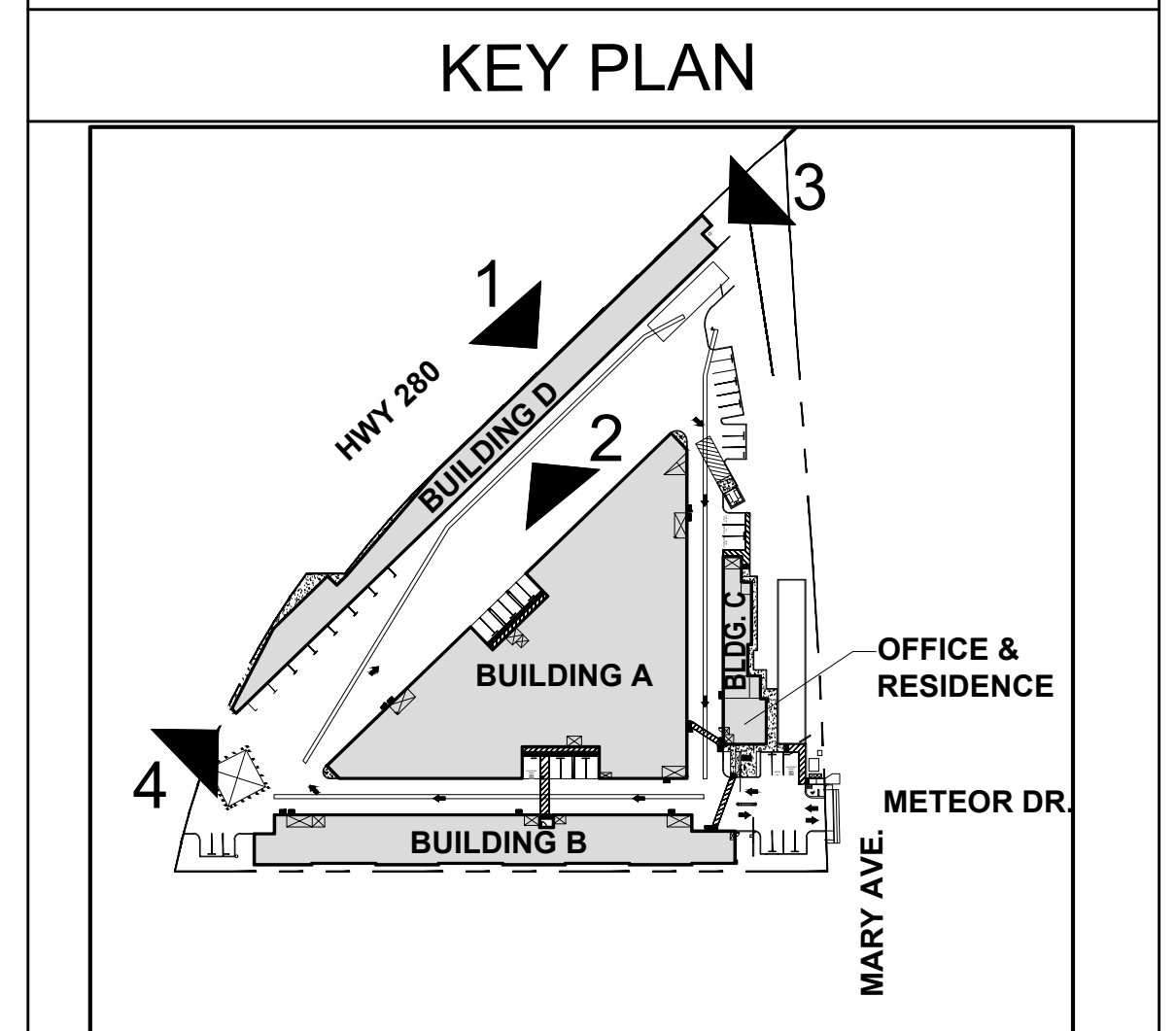


KEYNOTES

1 STUCCO FINISH.	13 STUCCO FINISH BAND.
2 HORIZONTAL & VERTICAL STUCCO REVEAL.	14 PREFINISHED METAL GUTTER.
3 INTEGRAL CMU BLOCK.	15 ROOF LINE BEHIND.
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	C7 ARCHITECTURAL METAL PANEL: MBCI FINISH: SMOOTH COLOR: "LIGHT STONE"



BAY AREA SELF STORAGE

CUPERTINO, CA

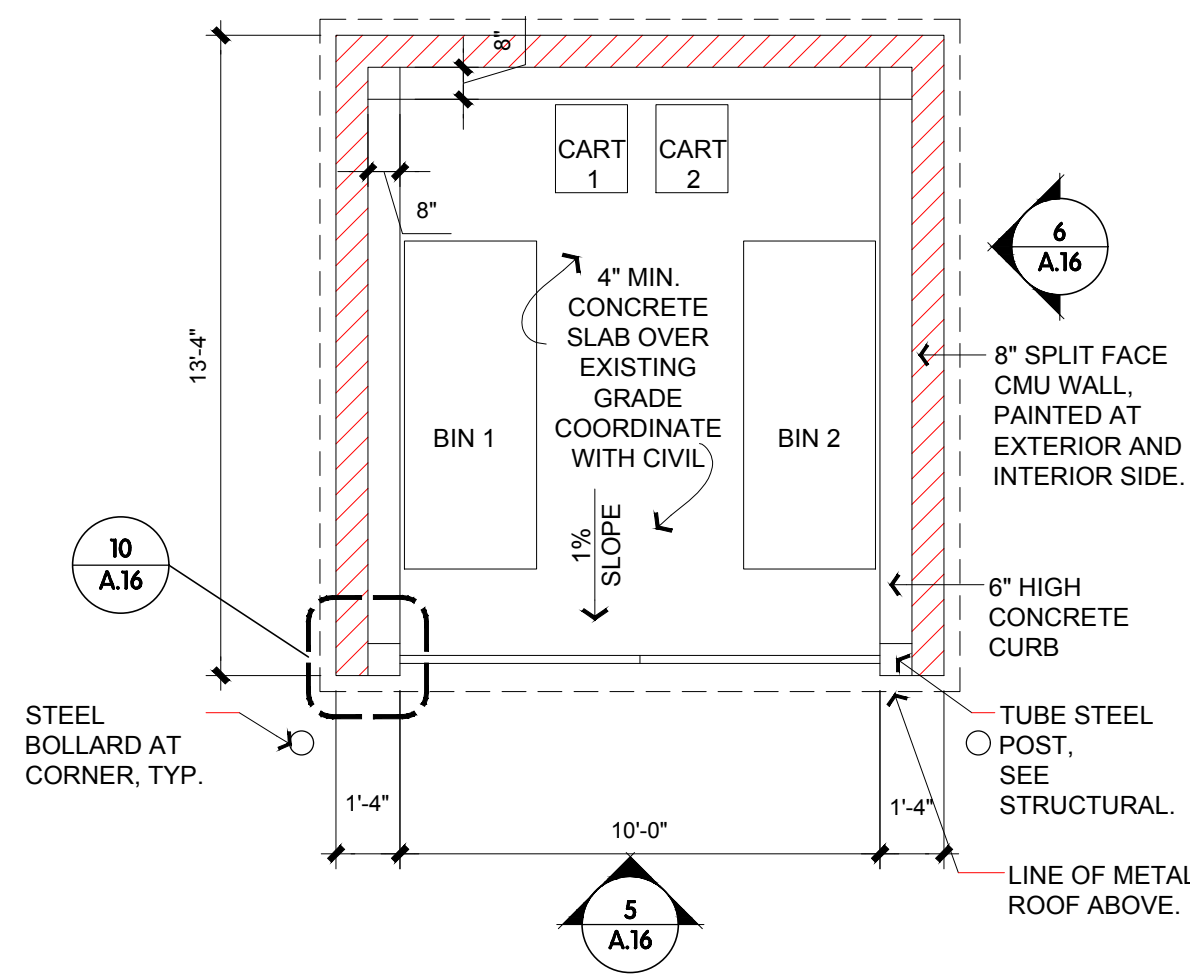
ELEVATIONS

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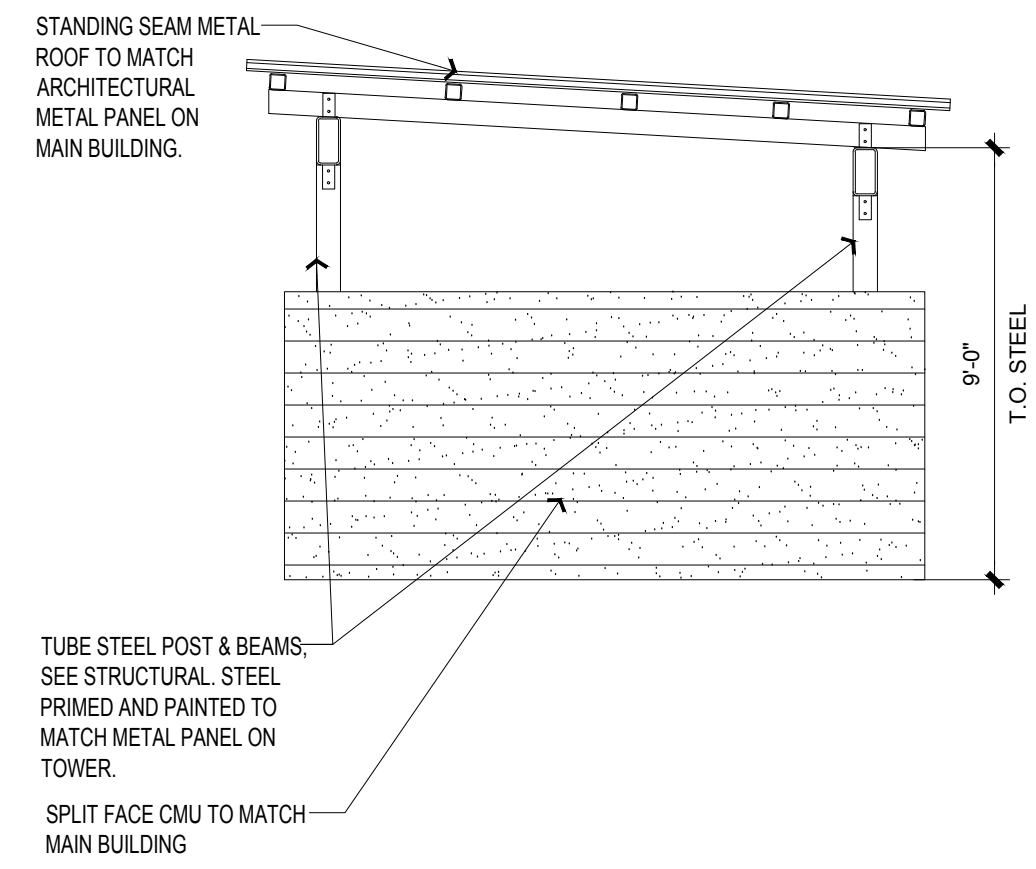
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SCALE: 1/16"=1'-0"
DATE: 11/12/2020

A.15

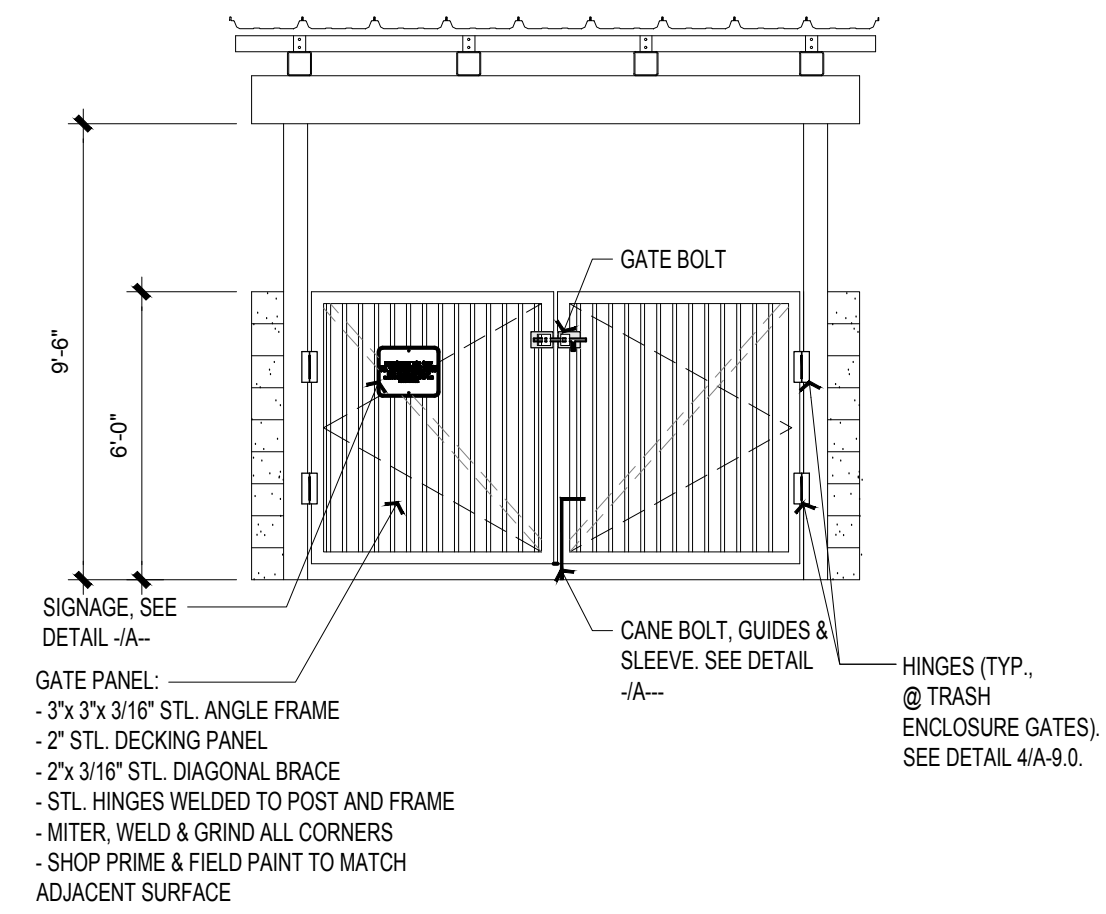
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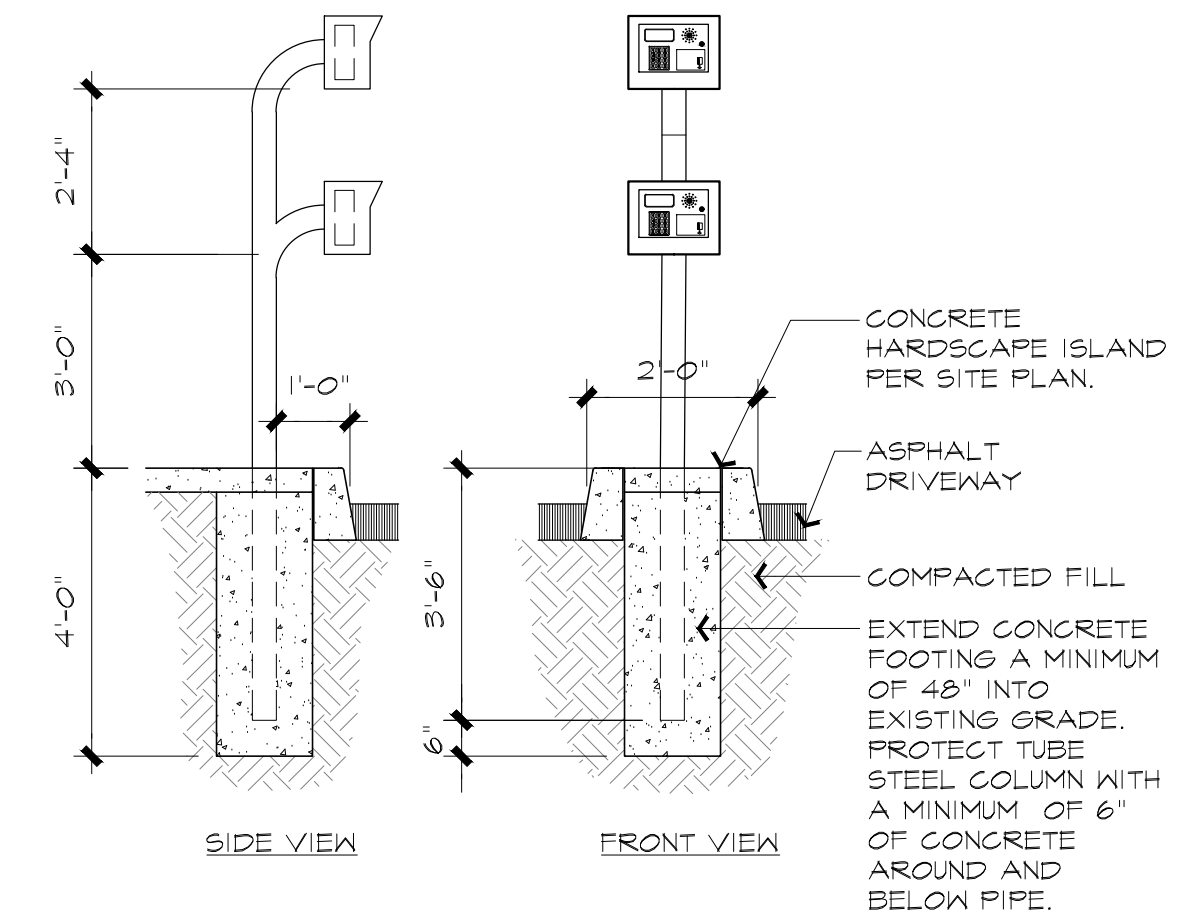
FLOOR PLAN
TRASH ENCLOSURE - PLAN (7)
1/4" = 1'-0"



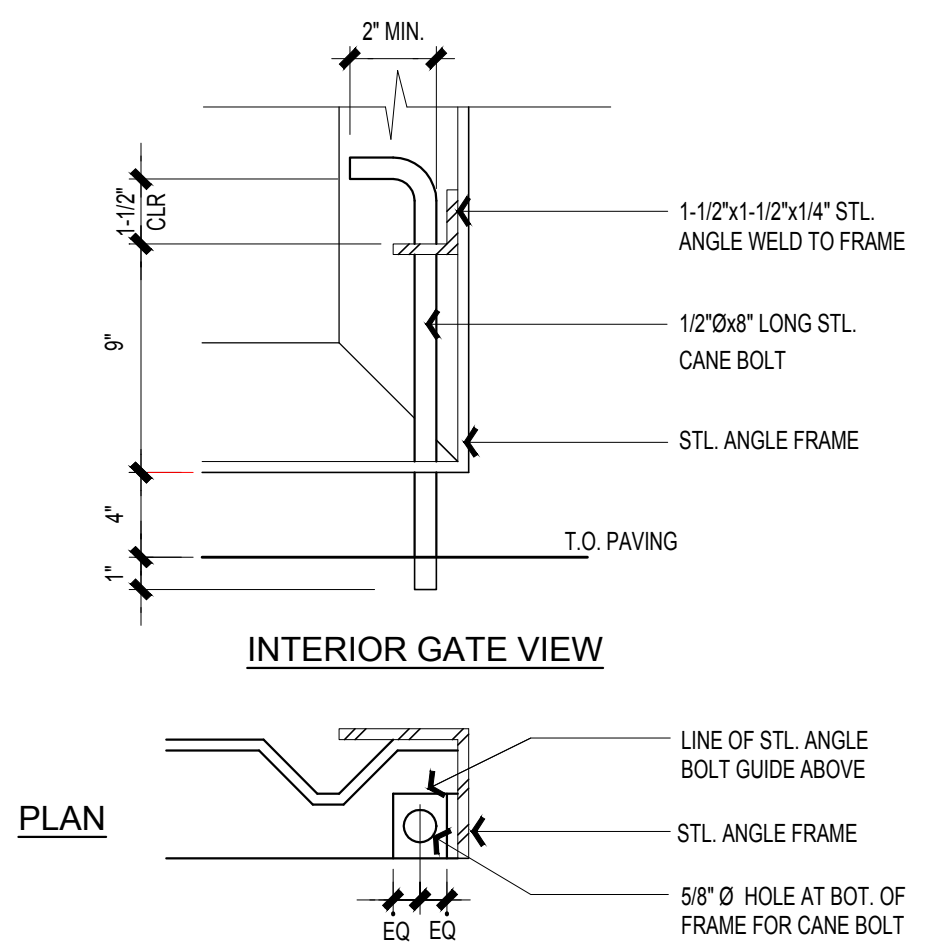
TRASH ENCLOSURE (6)
1/4" = 1'-0"



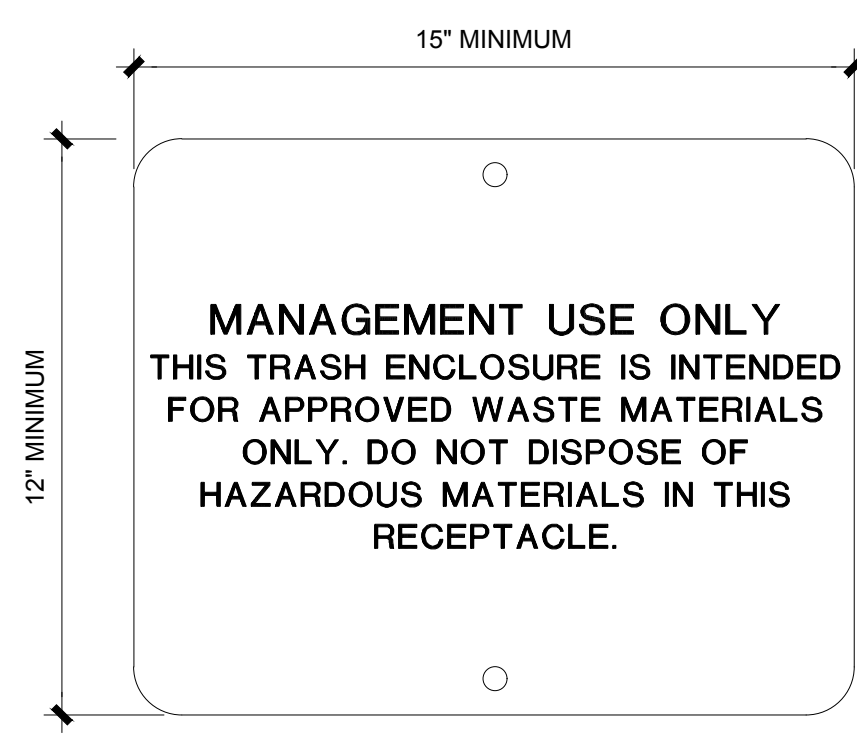
TRASH ENCLOSURE (5)
1/4" = 1'-0"



KEY PAD SECTION (4)
3/8" = 1'-0"

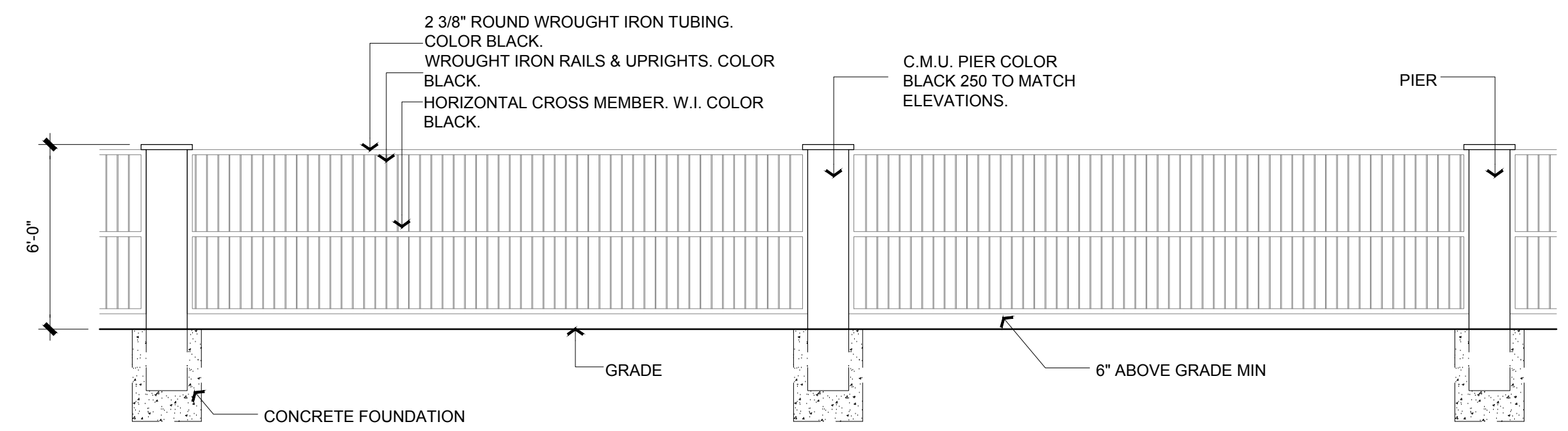


GATE CANE VOLT (9)
3/8" = 1'-0"

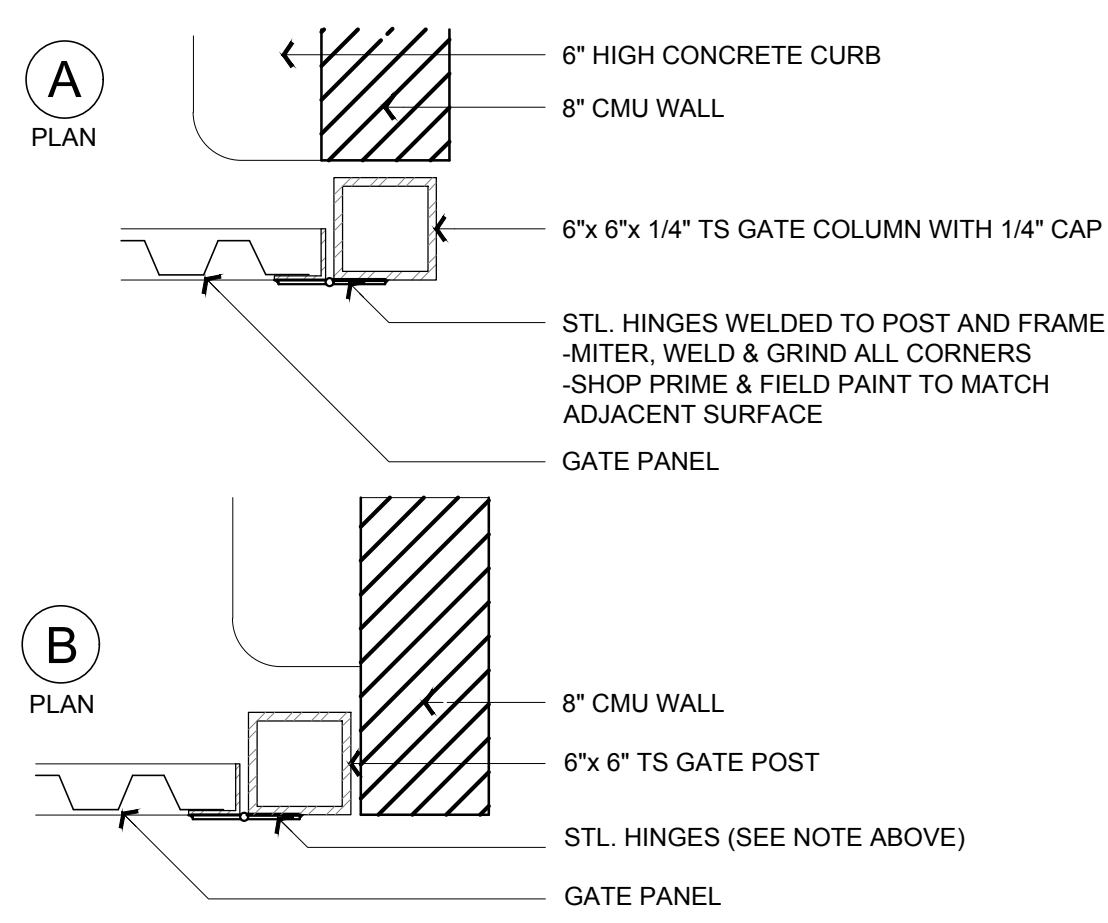


MOUNT SIGN WHERE INDICATED IN ELEVATIONS @ 60" ABOVE FINISH FLOOR

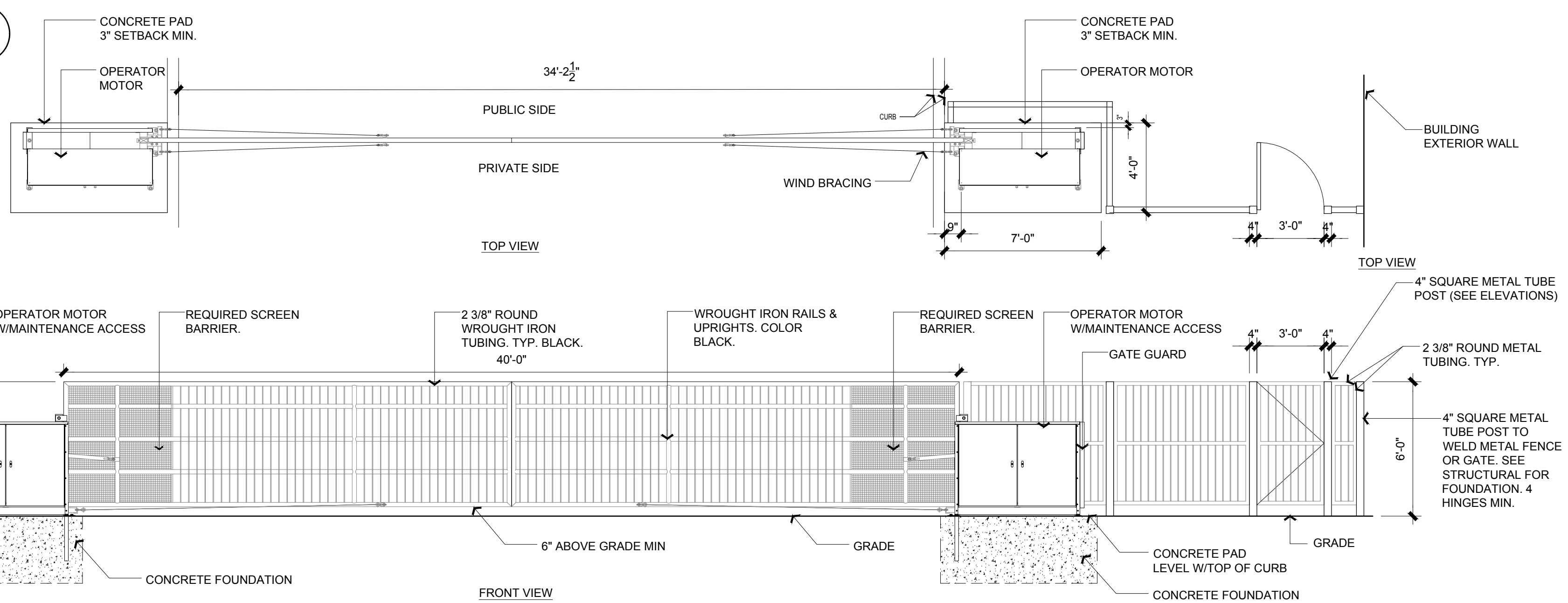
TRASH SIGN (8)
3" = 1'-0"



TYPICAL PERIMETER FENCE (3)
1/4" = 1'-0"



GATE POST & HINDGE (10)
3/8" = 1'-0"



LIFT GATE (1)
1/4" = 1'-0"

PEDESTRIAN GATE (2)
1/4" = 1'-0"

BAY AREA SELF STORAGE

CUPERTINO, CA

DETAILS

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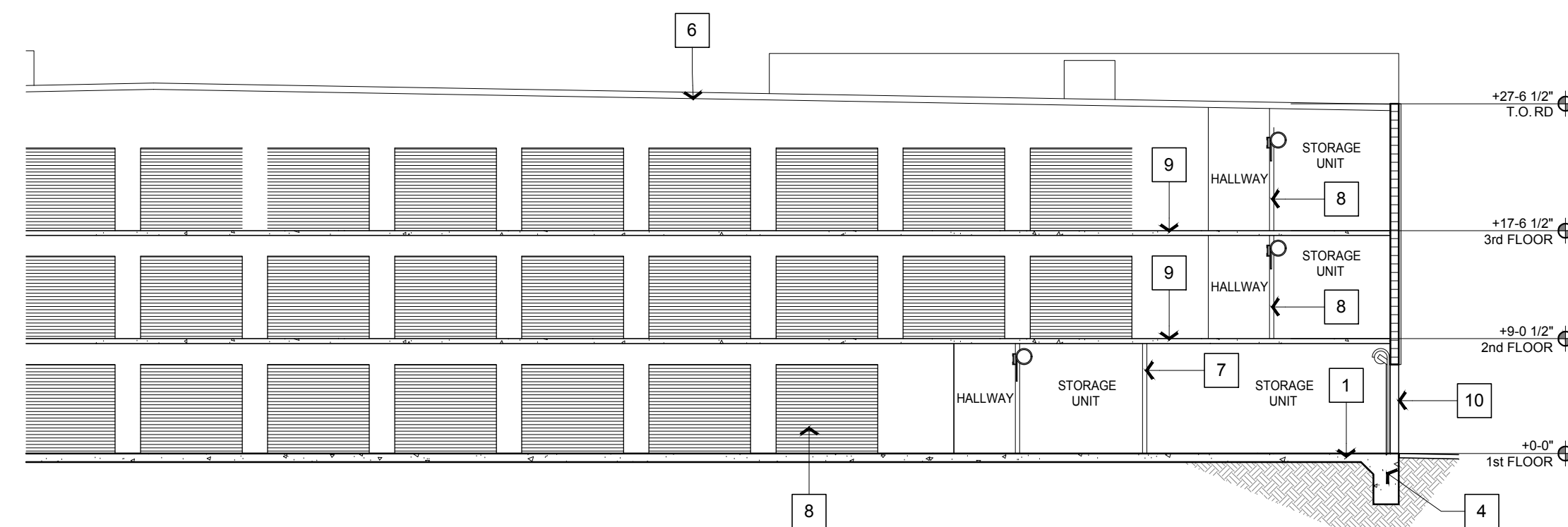
JOB NUMBER: 17-606
SCALE: AS NOTED
DATE: 11/12/2020

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BUILDING A - PARTIAL SECTION LOOKING NORTH ①
3/32"=1'-0"

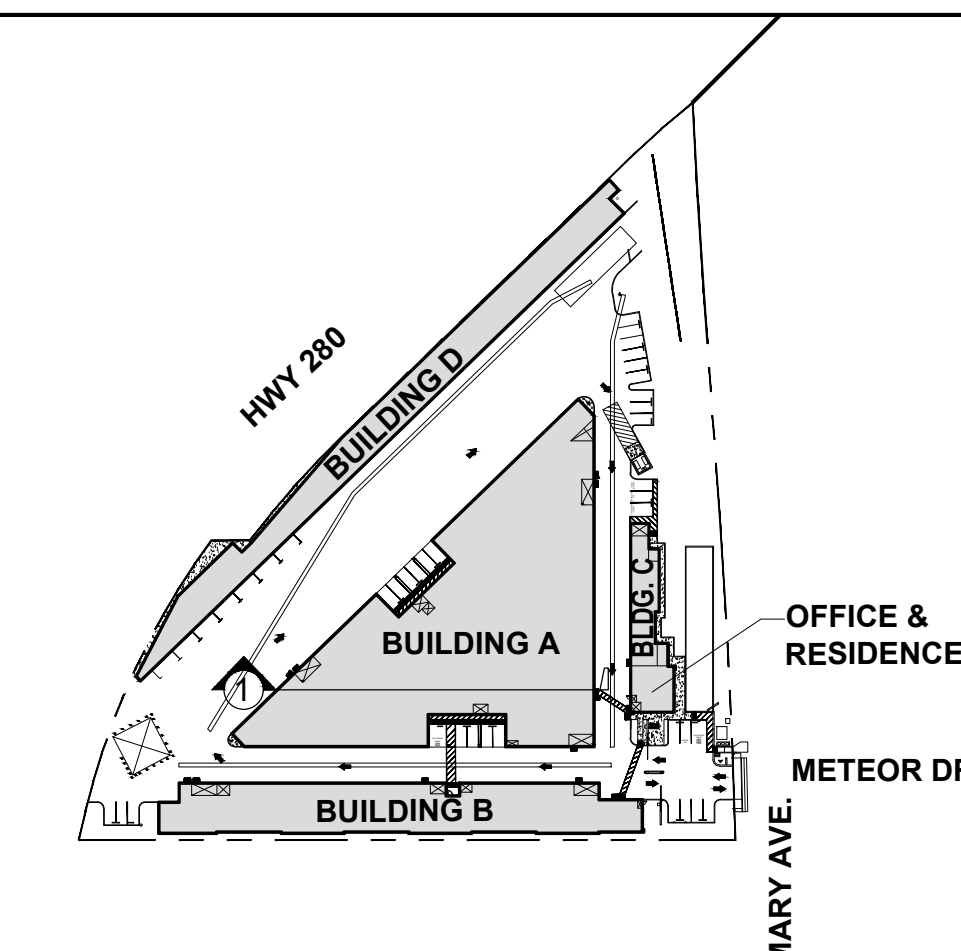


BUILDING A - PARTIAL SECTION LOOKING NORTH ②
3/32"=1'-0"

KEYNOTES

- 1 CONG SLAB ON GRADE.
- 2 8" CMU EXTERIOR WALL.
- 3 STEEL-FRAMED EXTERIOR WALL WITH STUCCO FINISH. SEE ELEVATIONS.
- 4 CONG. FOOTING
- 5 ELEVATOR PENTHOUSE BEYOND
- 6 ROOFING SYSTEM
- 7 METAL FRAMED INTERIOR WALLS
- 8 ROLL-UP DOOR
- 9 CONG. OVER METAL DECK
- 10 CMU PIER BEYOND
- 11 NOT USED
- 12 PAVEMENT, SEE CIVIL.
- 13 PARAPET BEYOND. SEE ELEVATIONS.
- 14 FAN UNIT. SEE ELEVATIONS.

KEY PLAN



BAY AREA SELF STORAGE
CUPERTINO, CA

BUILDING SECTION

JOB NUMBER: 17-606
SCALE: AS NOTED
DATE: 11/12/2020

A.17

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Facsimile 949.388-8290

SURVEY NOTES

- THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF NOVEMBER 29, 2016, ORDER NUMBER NCS-826122-SC, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. BY HUNTER PROPERTIES ON DECEMBER 16, 2016. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK.

BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS SURVEY IS BASED UPON THE BEARING OF NORTH 89°57'35" WEST TAKEN ON THE CENTERLINE OF METEOR DRIVE AS SHOWN ON THAT CERTAIN TRACT MAP NUMBER 4381 FILED FOR RECORD ON APRIL 3, 1968, IN BOOK 235 OF MAPS AT PAGES 36-37, OFFICIAL RECORDS OF SANTA CLARA COUNTY.

BENCHMARK

THE VERTICAL DATUM FOR THIS SURVEY IS THE CITY OF CUPERTINO BENCHMARK BM-33, CONCRETE NAIL FOUND IN THE TOP OF CURB AT THE NORTHEAST RETURN ON STERLING ROAD AND GARDEN GATE DRIVE.

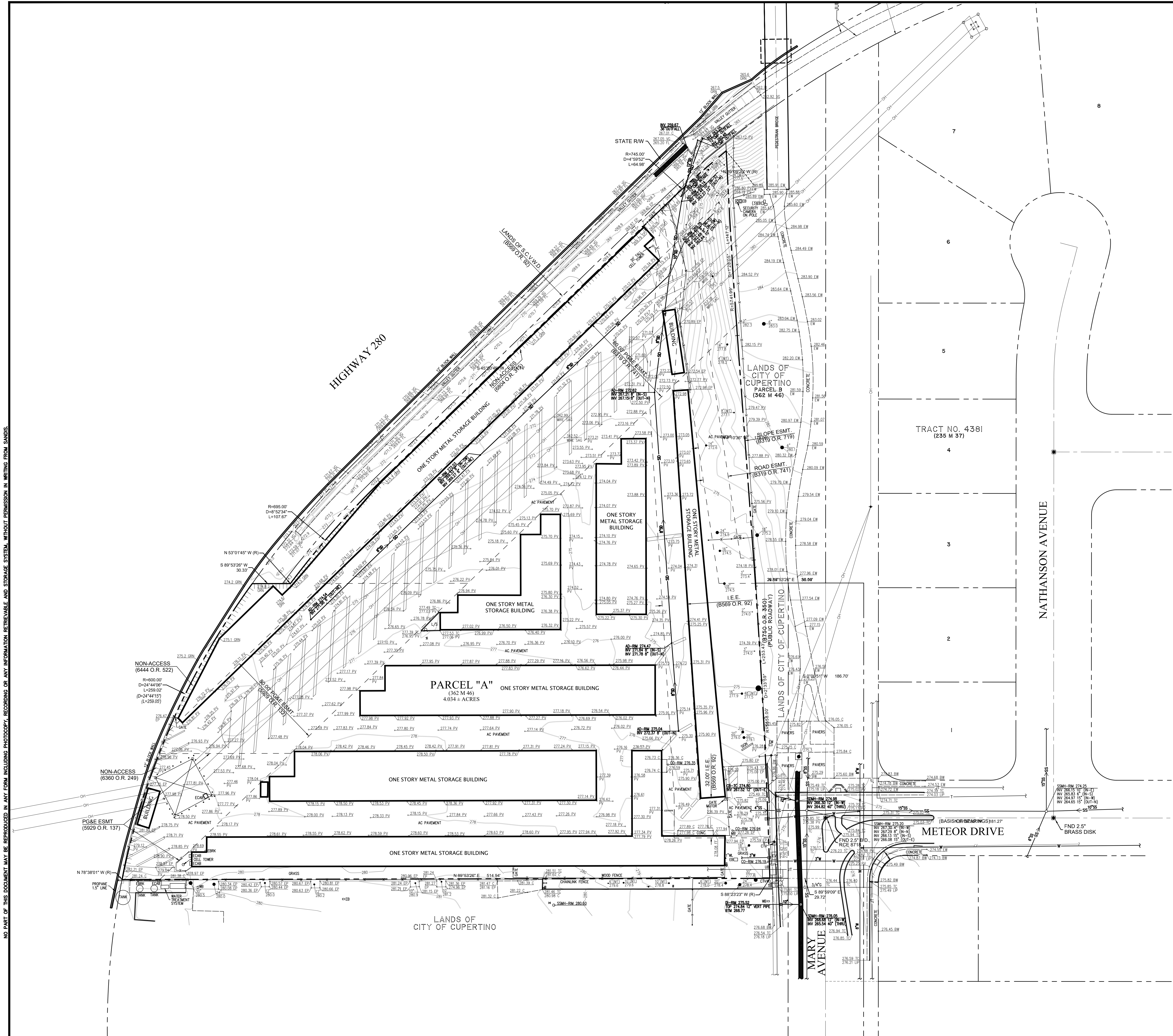
ELEVATION = 262.21 FEET (NGVD 29 DATUM)

UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

BOUNDARY NOTE

THE PARCEL LINES SHOWN HEREON ARE BASED UPON RECORD INFORMATION AND ARE NOT THE RESULT OF A BOUNDARY SURVEY. THEY ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND DO NOT REPRESENT THE TRUE LOCATION OF ACTUAL PROPERTY BOUNDARIES.

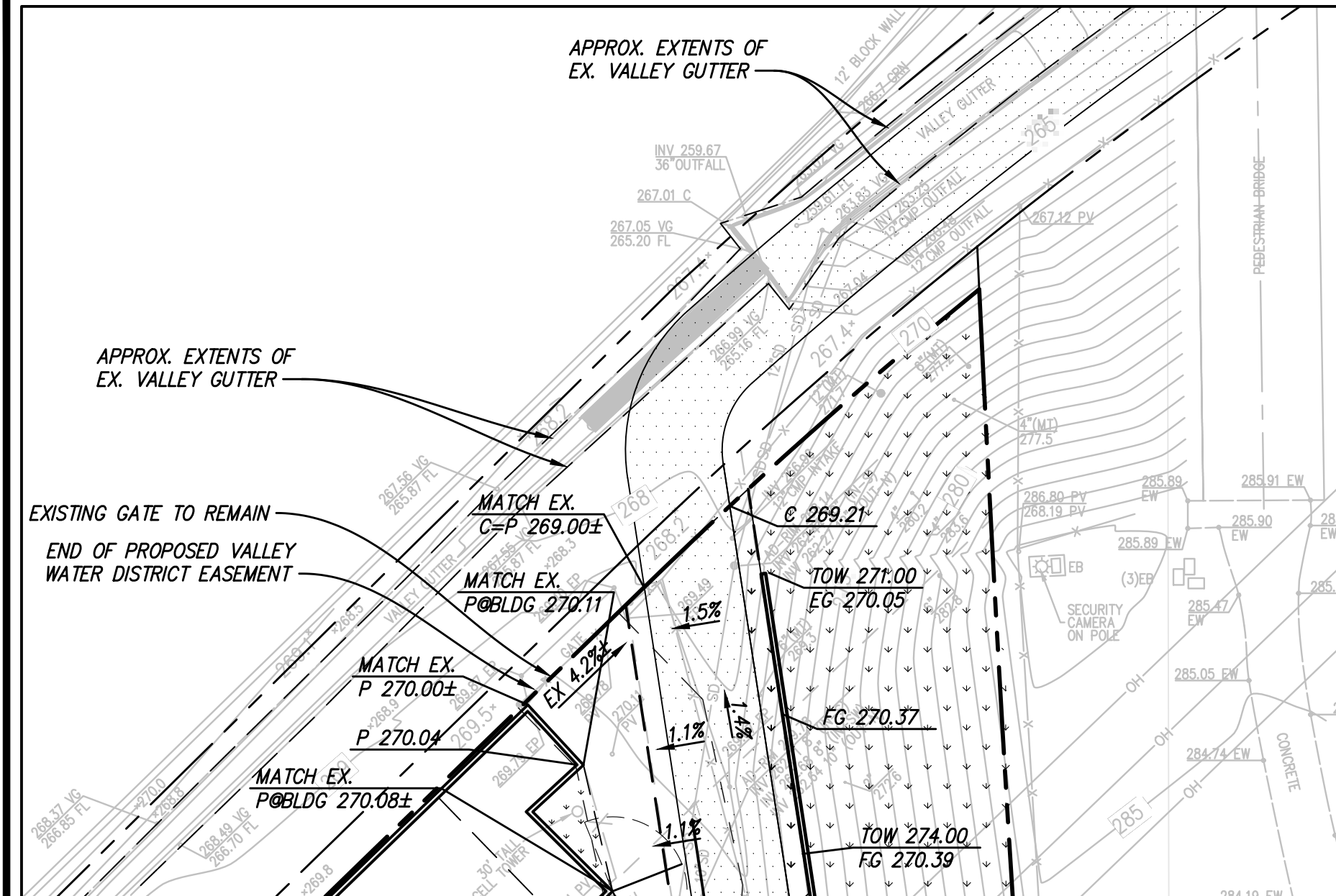
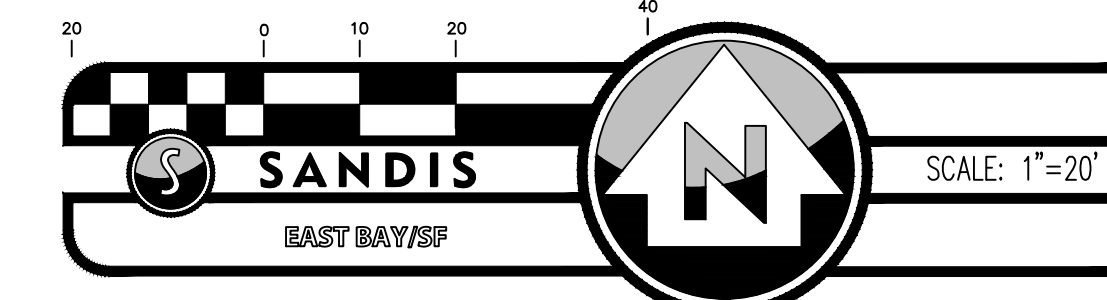


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File: X:\P\617010\4\ ENGINEERING\2\ PLAN SETS\3\3\ SHEET SET\C0.1.dwg Date: Nov 11, 2020 - 3:07 PM

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SEE INSET FOR CONTINUATION

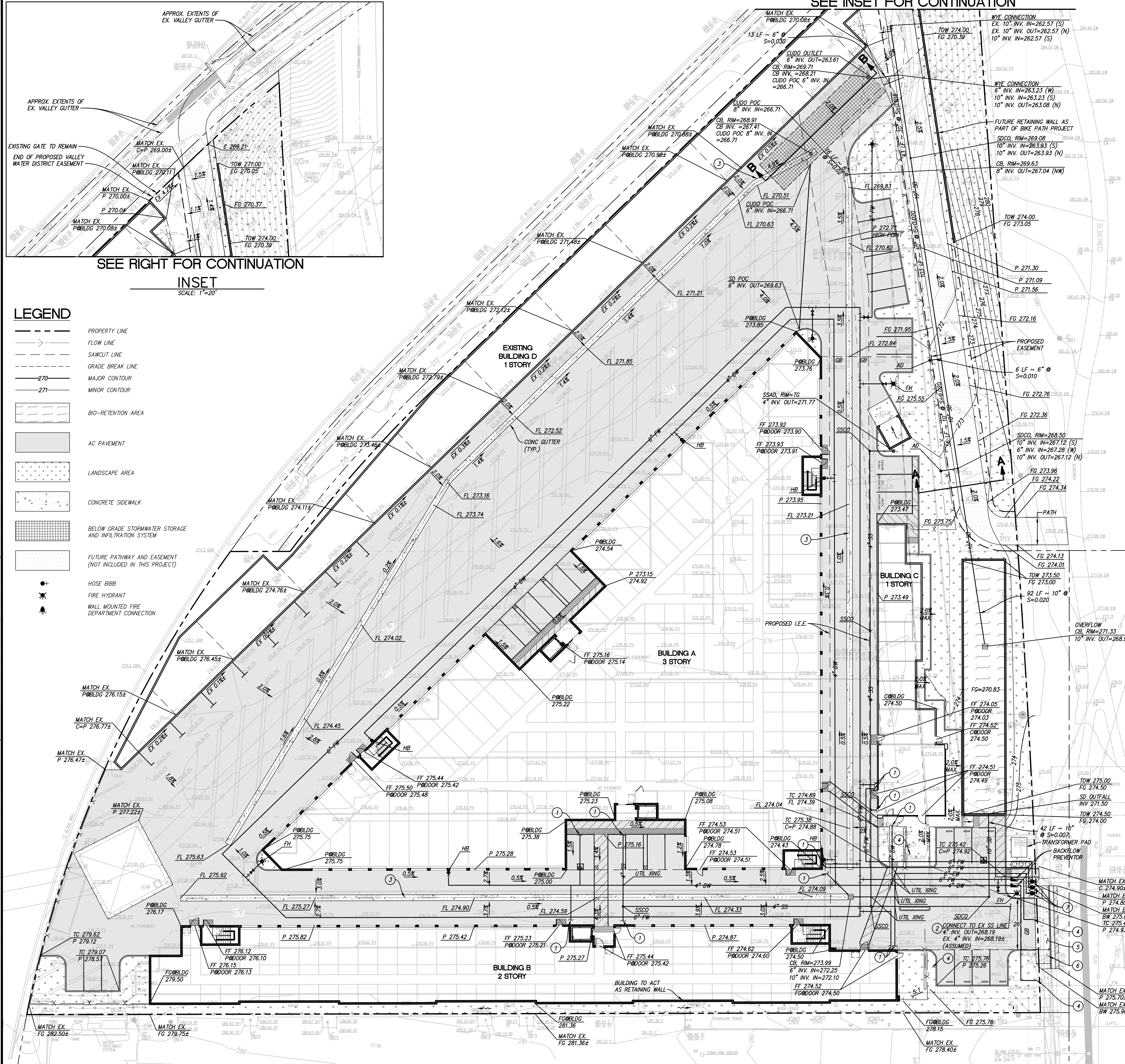


SEE RIGHT FOR CONTINUATION

INSET SCALE: 1"=20'

- LEGEND**
- PROPERTY LINE
 - FLOW LINE
 - SAWCUT LINE
 - GRADE BREAK LINE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - BIO-RETENTION AREA
 - AC PAVEMENT
 - LANDSCAPE AREA
 - CONCRETE SIDEWALK
 - BELOW GRADE STORMWATER STORAGE AND INFILTRATION SYSTEM
 - FUTURE PATHWAY AND EASEMENT (NOT INCLUDED IN THIS PROJECT)
 - HOSE BIBB
 - FIRE HYDRANT
 - WALL MOUNTED FIRE DEPARTMENT CONNECTION

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SHEET NOTES

- BUILDING POINT OF CONNECTION (P.O.C.)
- CONNECT TO EXISTING SANITARY SEWER POINT OF CONNECTION (P.O.C.)
- CONCRETE VALLEY GUTTER.
- SLIDING GATE.
- DRIVEWAY PER CITY OF CUPERTINO DETAIL 1-21.
- EXISTING POWER POLE TO REMAIN. GUY WIRE TO BE RELOCATED.
- LABEL FDC WITH SIGN INDICATING CONNECTED BUILDING WITH 3" HIGH LETTERS MIN.

UTILITY NOTES:

- CATCH BASINS, AREA DRAINS, AND THE BIORETENTION OVERFLOW BASIN SHALL INCLUDE ADS FLEXSTORM TRASH CAPTURE INSERTS OR APPROVED EQUIVALENT.
- ALL EXTERIOR STORM DRAIN INLETS ON THE PARCEL SHALL BE MARKED WITH "NO DUMPING FLOWS TO CREEK".
- EXISTING STORM DRAIN LINES NOT USED IN FINAL SYSTEM DESIGN SHALL BE ABANDONED IN-PLACE.

GEOTECHNICAL NOTES:

THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL INVESTIGATION PREPARED BY ADVANCED SOIL TECHNOLOGY, INC. DATED JULY 7, 2017, FILE NUMBER 16346-S.

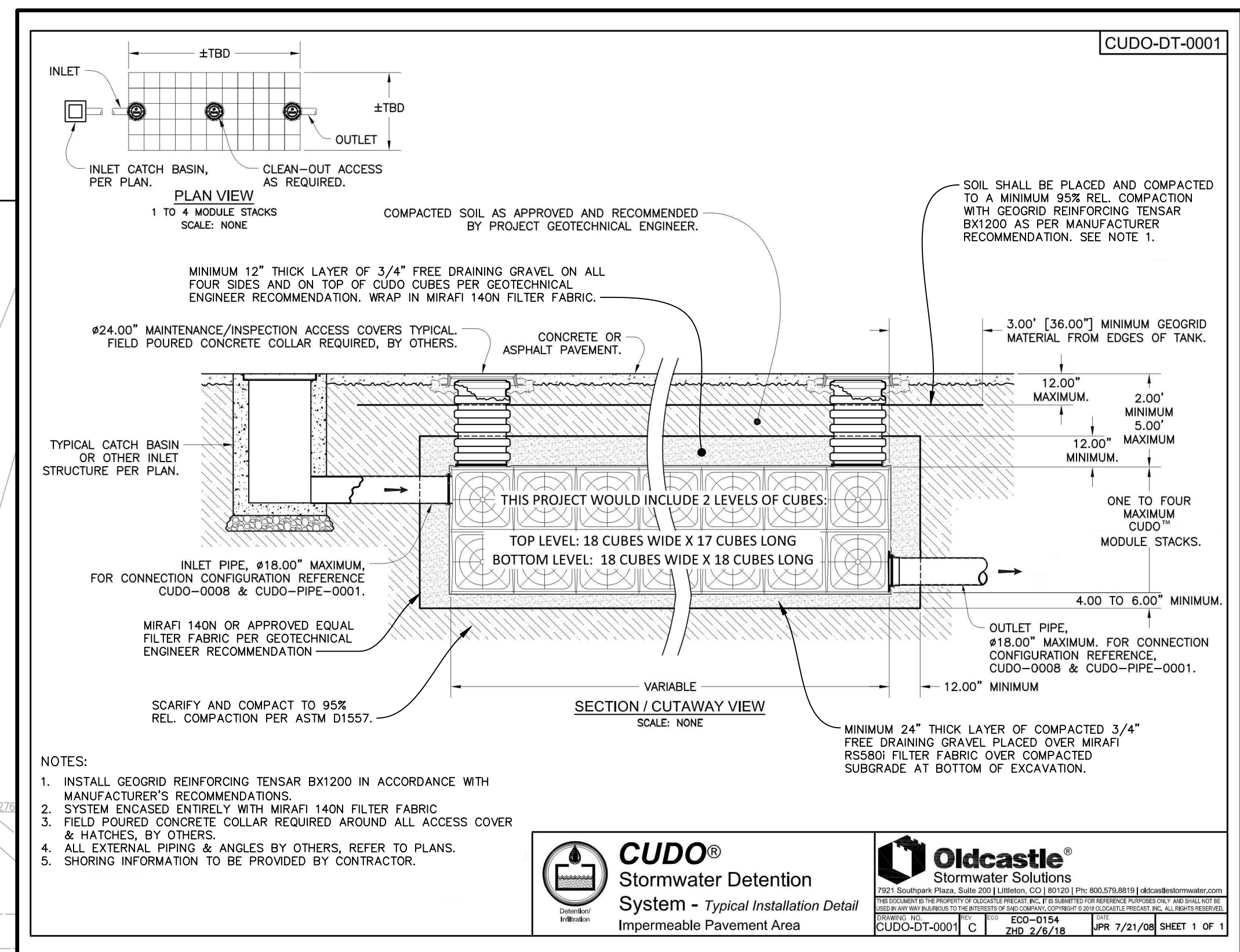
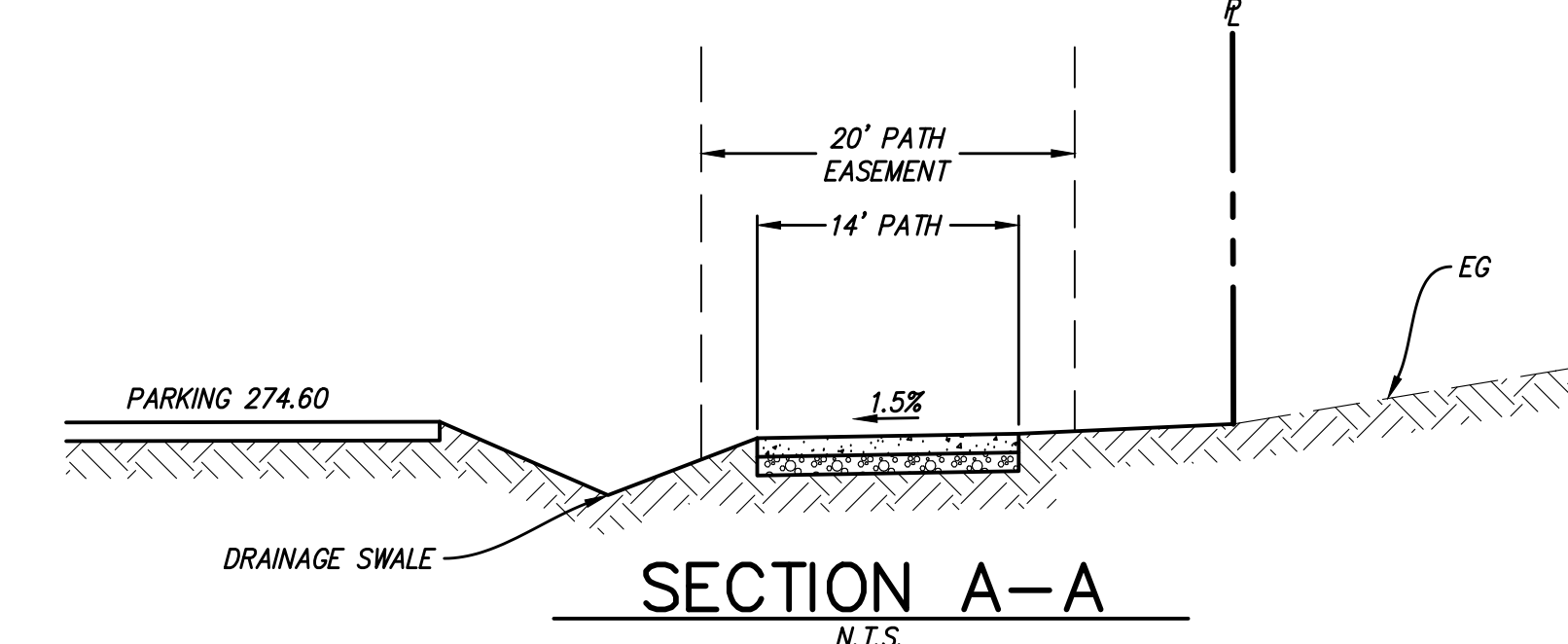
A PERCOLATION TEST WAS PERFORMED BY ADVANCED SOIL TECHNOLOGY, INC. DATED JANUARY 14, 2020, FILE NUMBER 16346-PERC.

EARTHWORK QUANTITIES

CUT 7,800 CY

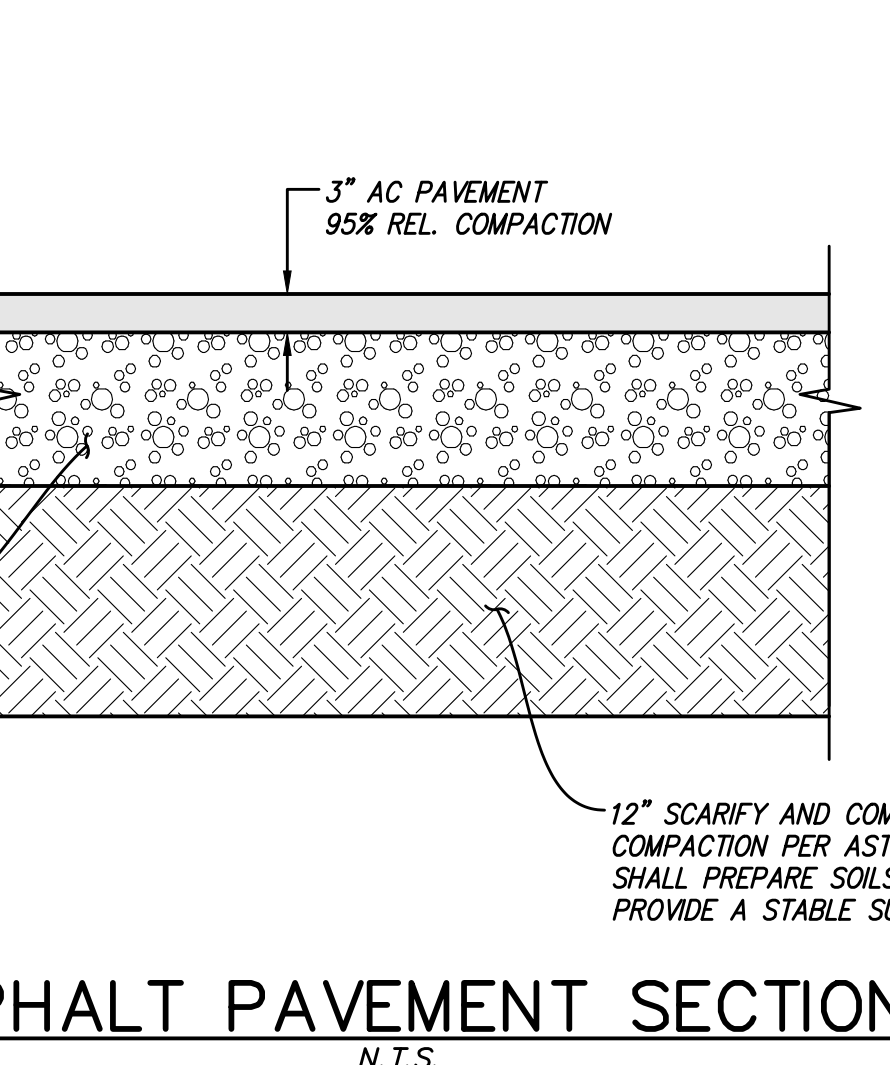
FILL 0 CY

THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR REFERENCE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES AS SHOWN ON THE PLANS REGARDLESS OF THE ESTIMATED EARTHWORK QUANTITIES AS INDICATED. SIGNIFICANT REVISIONS TO THE QUANTITIES NEED REVIEW BY THE COUNTY. FILL SHORTAGE IS ANTICIPATED TO COME FROM ON-SITE SPOILS ACQUIRED FROM UTILITY TRENCHES AND FOOTING SPOILS.



- NOTES:
- INSTALL GEGRID REINFORCING TENSAR BXT200 IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
 - SYSTEM ENCASED ENTIRELY WITH MIRAFI 140N FILTER FABRIC & MATCHES, BY OTHERS.
 - ALL EXTERNAL PIPING & ANGLES BY OTHERS, REFER TO PLANS.
 - SHORING INFORMATION TO BE PROVIDED BY CONTRACTOR.

SECTION B-B



ASPHALT PAVEMENT SECTION

SANDIS CIVIL ENGINEERS SURVEYORS PLANNERS
 636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net
 SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

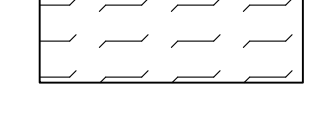

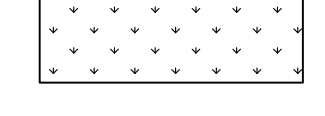
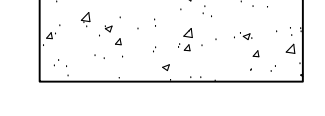
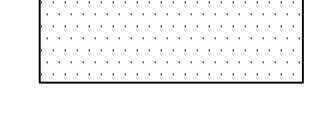

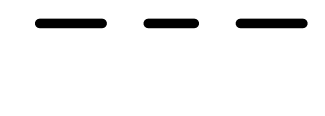

DATE: 11/10/2020	DATE: _____, 2020
SCALE: 1"=20'	
DRAWN BY: JW	
APPROVED BY: RS	
DRAWING NO: 617010	RONALD EDMUND SANZO III R.C.E. NO. 79305, EXPIRES 3-31-22

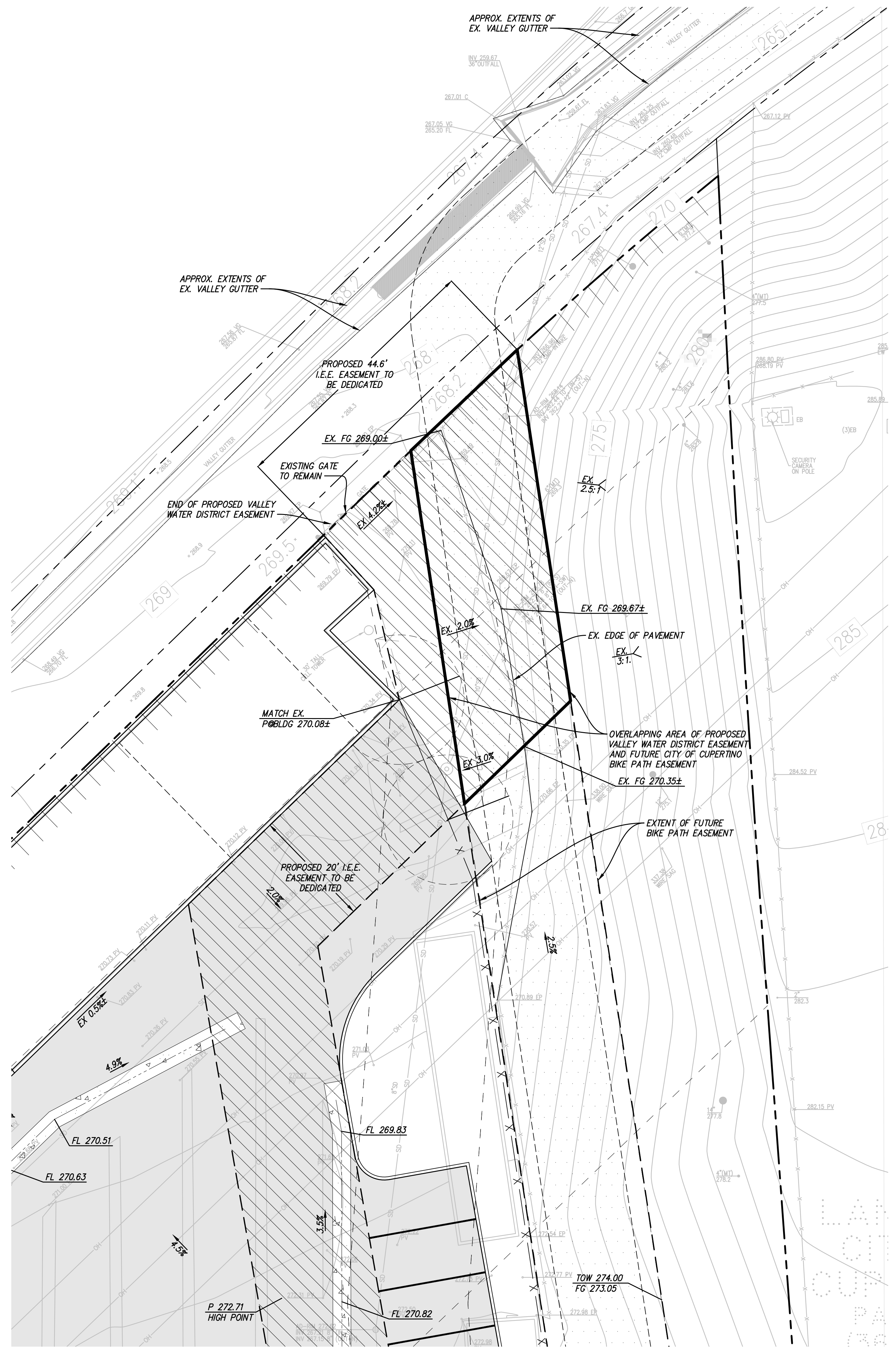
No.	REVISION	DATE	BY

10655 MARY AVE
 CUPERTINO CALIFORNIA

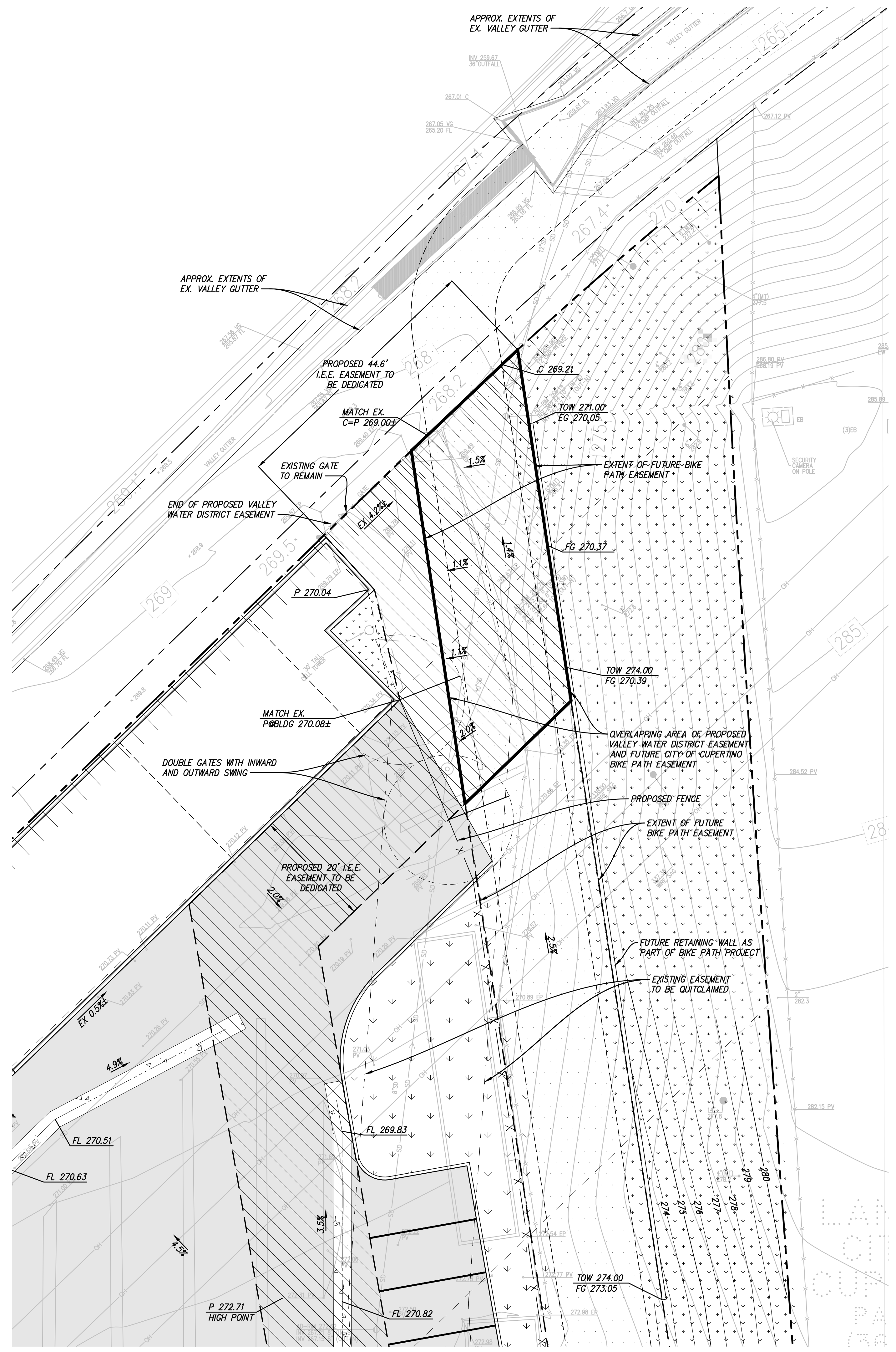
PRELIMINARY GRADING AND UTILITY PLAN
 SHEET **C2.0** OF 5 SHEETS
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LEGEND

-  BIO-RETENTION AREA
-  AC PAVEMENT
-  LANDSCAPE AREA
-  CONCRETE SIDEWALK
-  FUTURE PATHWAY AND EASEMENT (NOT INCLUDED IN THIS PROJECT)
-  PROPOSED VALLEY WATER DISTRICT EASEMENT EXTENTS
-  EASEMENT TO BE DEDICATED
-  PROPERTY LINE



PROPOSED GRADING FOR INTERIM CONDITION



PROPOSED GRADING FOR FUTURE PATHWAY

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No.	REVISION	DATE	BY

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GENERAL NOTES:

- CURBS ADJACENT TO BIORETENTION WILL BE PERFORATED AT LOCATIONS SHOWN.
- FLOOD ZONE DESIGNATION FOR PROJECT: LOCATED IN ZONE D PER FEMA FLOOD INSURANCE RATE MAP, PANEL 2084.
- PER THE NRCS WEB SOIL SURVEY, THE SITE SOILS CONSIST OF "URBAN LAND-FLASKAN COMPLEX". SEE GEOTECHNICAL REPORT FOR DETAILED SOIL INFORMATION.
- THE PROPOSED PROJECT WILL INCLUDE MORE THAN 10,000 SQUARE FEET OF IMPERVIOUS SURFACE AND HAS THEREBY BEEN PLANNED TO COMPLY WITH PROVISION C.3 - NEW DEVELOPMENT AND REDEVELOPMENT OF THE MUNICIPAL REGIONAL STORMWATER PERMIT (ORDER NO. R2-2015-0049).
- GENERAL STORMWATER QUALITY APPROACH - THE PROJECT WILL INCLUDE A BIORETENTION AREA AND A STORMWATER STORAGE AND INFILTRATION (CUDO) SYSTEM. ALL PROPOSED/REPLACED ONSITE IMPERVIOUS SURFACES WILL DRAIN TO THESE AREAS.
- BIORETENTION SIZING - THE PRELIMINARY STORMWATER MANAGEMENT PLAN HAS INCLUDED BIORETENTION MEASURES SIZED PER THE UNIFORM INTENSITY METHOD AND THE 4% RULE, WHEREBY 4% OF THE EFFECTIVE IMPERVIOUS AREA HAS BEEN PROVIDED AS A BIORETENTION SURFACE FOR EACH WATERSHED'S RUNOFF. SEE TABLE ABOVE FOR EACH WATERSHED'S SIZE, PROPOSED IMPERVIOUS AREAS, AND PROPOSED TREATMENT AREAS.

SITE TREATMENT AREA NOTE:

THIS PROJECT IS REPLACING MORE THAN 50% OF THE EXISTING IMPERVIOUS AREA AND THEREFORE MUST TREAT THE ENTIRE SITE.

STORMWATER MANAGEMENT NOTES:

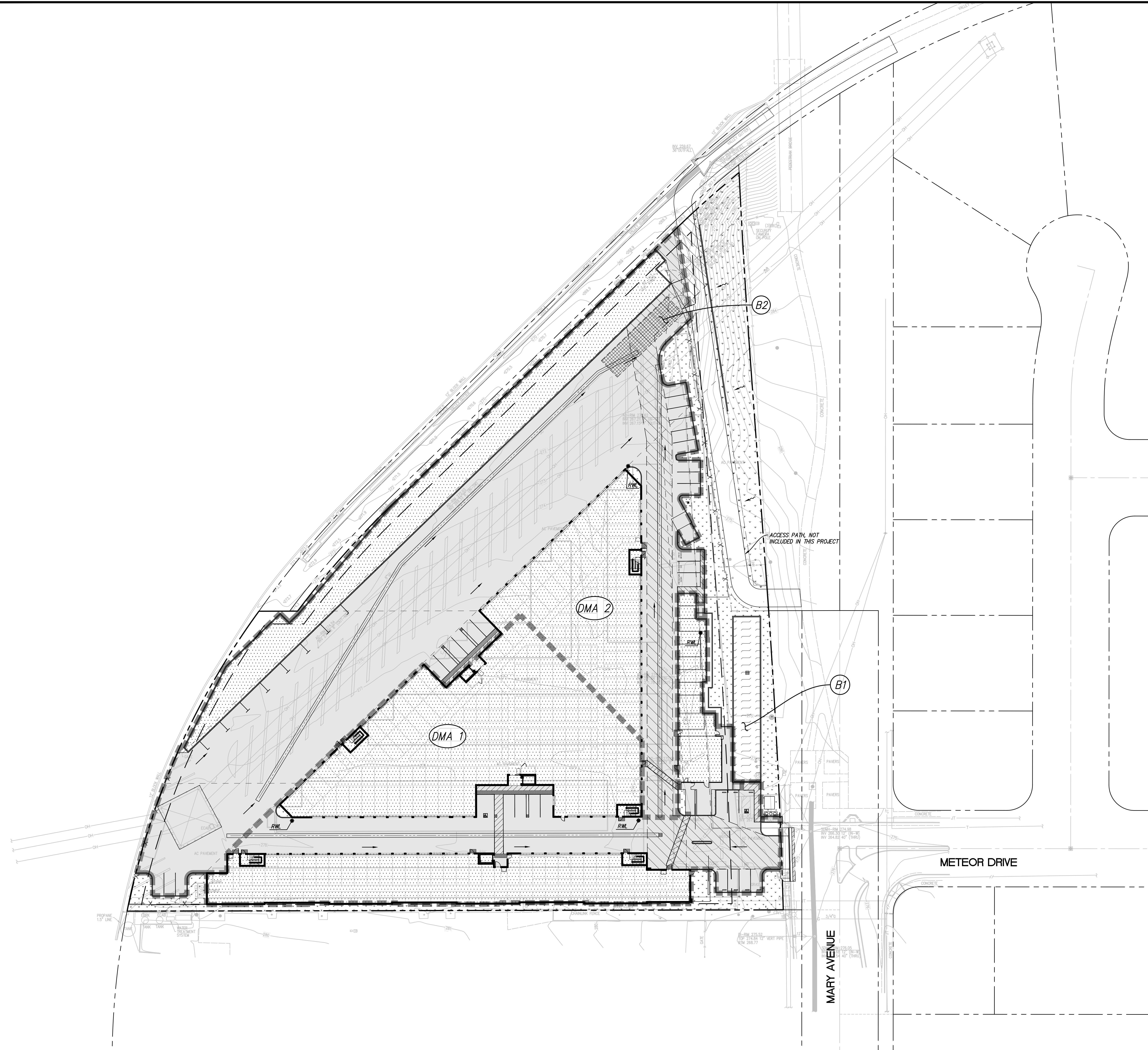
- THIS PLAN PRESENTS METHODS AND CALCULATIONS FOR COMPLYING WITH THE REQUIREMENTS OF PROVISION C.3 OF THE MUNICIPAL REGIONAL STORMWATER PERMIT IN ACCORDANCE WITH THE SANTA CLARA COUNTY PROGRAM AND THE CITY OF CUPERTINO REQUIREMENTS.
- THE FOLLOWING TREATMENT MEASURES ARE PROPOSED TO REGULATE THE QUALITY OF STORM WATER LEAVING THE SITE:
 - SELF-TREATING AREA - RUNOFF IN THIS AREA ORIGINATES IN AND FLOWS THROUGH PLANTING PRIOR TO EXITING THE PROJECT SITE, NO TREATMENT IS REQUIRED.
 - SELF-RETAINING AREA - RUNOFF IN THIS AREA IS DIRECTED TO A DEPRESSED LANDSCAPE AREA THAT ALLOWS WATER TO POND TO 3" PRIOR TO LEAVING THE SITE. NO SPECIAL LANDSCAPING OR SOILS ARE REQUIRED.
 - BIO-RETENTION AREA - RUNOFF IN THIS AREA IS DIRECTED TO A BIO-RETENTION PLANTER/AREA FOR FILTRATION, INFILTRATION, AND ENVIROTRANSPIRATION PRIOR TO EXISTING THE SITE. PLANTING AND SOIL REQUIREMENTS APPLY.
 - INFILTRATION AREA - RUNOFF IN THIS AREA IS DIRECTED TO A BELOW-GROUND CUDO STORMWATER STORAGE SYSTEM, ALLOWING INFILTRATION FROM THE SIDES AND BASE OF THE CUBED SYSTEM.

C.3 STORMWATER TREATMENT MEASURES

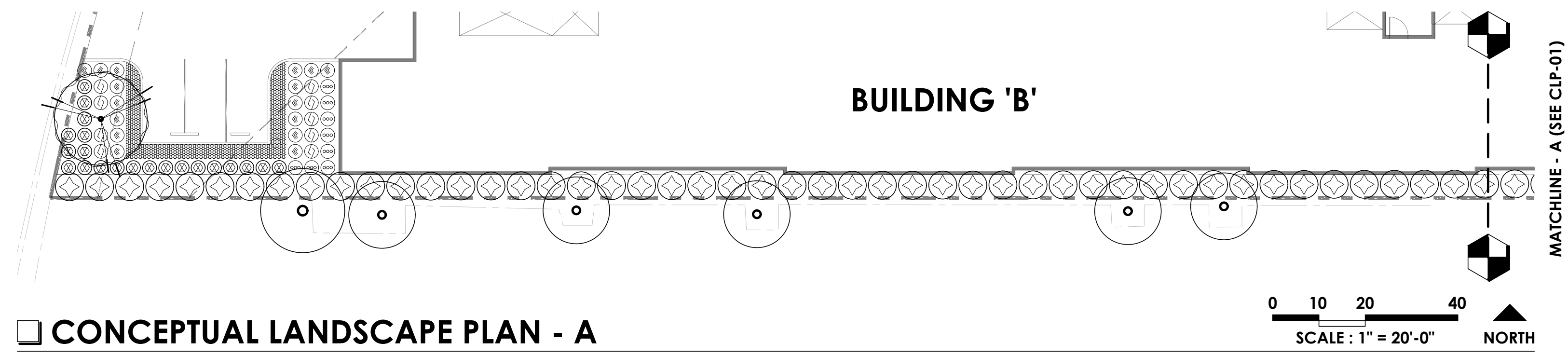
AREA ID	IMPERVIOUS AREA (SF)	BMP TYPE	BMP ID	REQUIRED BMP SIZE	BMP SIZE PROVIDED	TOTAL DEPTH OF EXCAVATION
DMA 1	61,409	BIORETENTION AREA	B1	2,457 SF	2,575 SF	2.50 FT
DMA 2	86,470	INFILTRATION BASIN	B2	4,930 CF	5,376 CF	8.92 FT

LEGEND

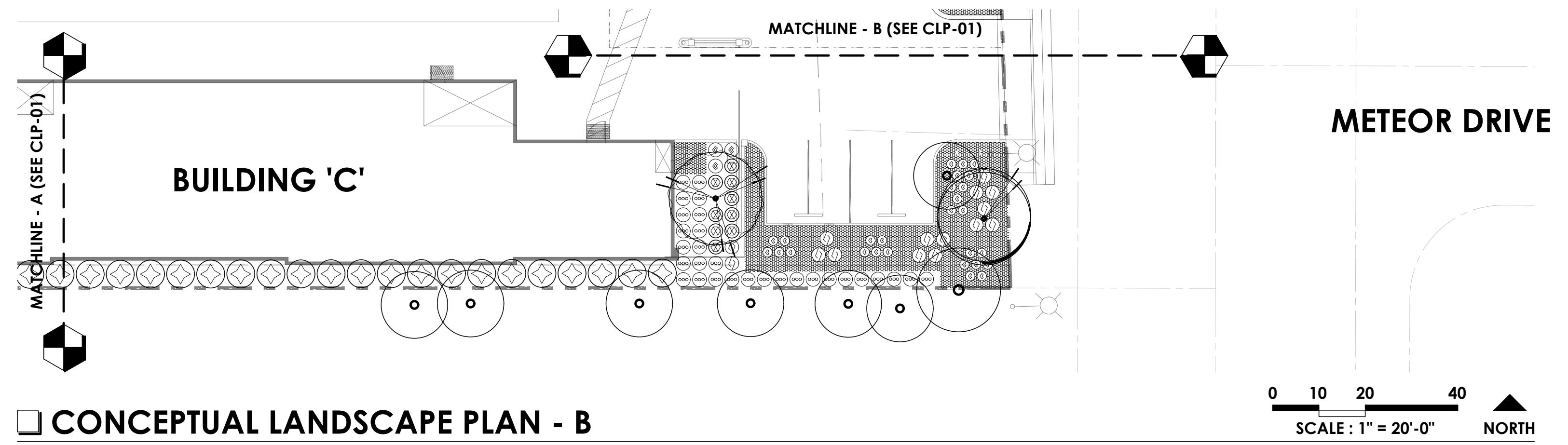
- DRAINAGE AREA BOUNDARY
- FLOW LINE
- PERVIOUS AREA
- IMPERVIOUS PAVEMENT AREA
- IMPERVIOUS ROOF AREA
- BIO-RETENTION AREA
- BELOW-GRADE STORMWATER STORAGE AND INFILTRATION SYSTEM
- DRAINAGE AREA ID
- TREATMENT MEASURE ID
- PERVIOUS AREA SURFACE FLOW DIRECTION
- IMPERVIOUS AREA SURFACE FLOW DIRECTION
- ROOF RAINWATER LEADER



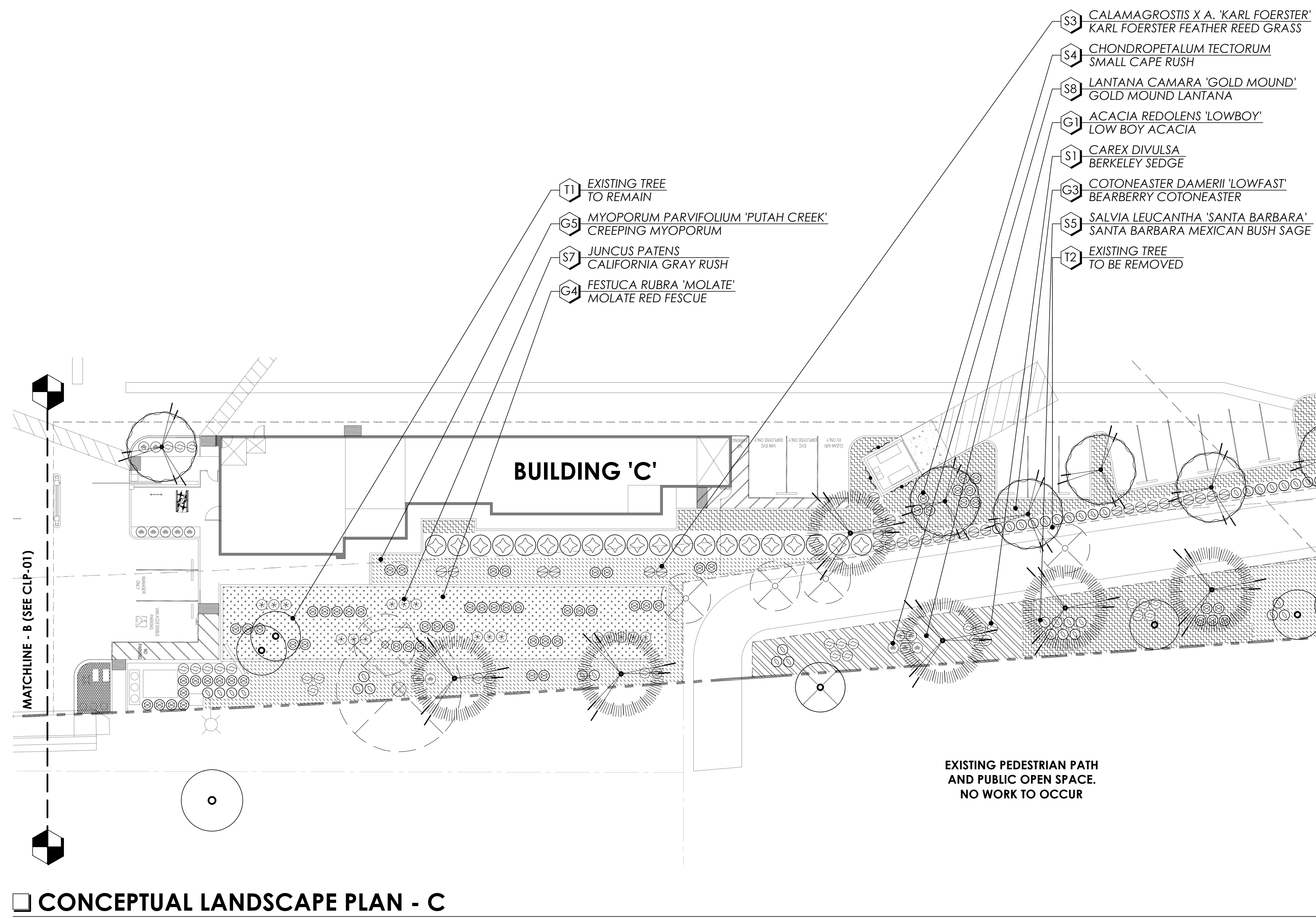
NO PART OF THIS DOCUMENT MAY BE REPRODUCED IN ANY FORM INCLUDING PHOTOCOPY, RECORDING OR ANY INFORMATION RETRIEVABLE AND STORAGE SYSTEM, WITHOUT PERMISSION IN WRITING FROM SANDIS.



CONCEPTUAL LANDSCAPE PLAN - A



CONCEPTUAL LANDSCAPE PLAN - B



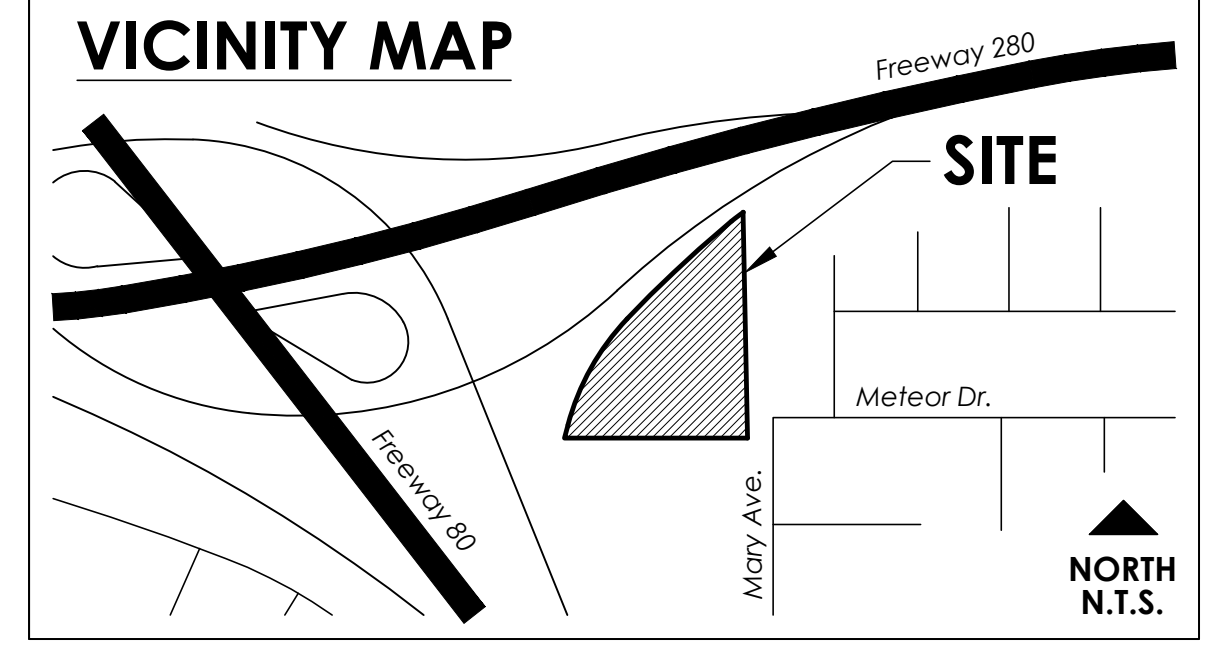
CONCEPTUAL LANDSCAPE PLAN - C

PLANT LEGEND

TREES		SHRUBS	
SYMBOL	NAME	SYMBOL	NAME
T1	EXISTING TREE TO REMAIN	S1	CAREX DIVULSA BERKELEY SEDGE
T2	EXISTING TREE TO BE REMOVED	S2	CARISSA MACROCARPA NATAL PLUM
T3	PLATANUS X ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	S3	CALAMAGROSTIS X A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS
T4	PISTACHIA CHINENSIS CHINESE PISTACHE	S4	CHONDROPETALUM TECTORUM SMALL CAPE RUSH
STREET TREE		S5	SALVIA LEUCANTHA 'SANTA BARBARA' SANTA BARBARA MEXICAN BOOK SAGE
SYMBOL	NAME	S6	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY
ST1	PISTACHIA CHINENSIS CHINESE PISTACHE	S7	JUNCUS PATENS CALIFORNIA GRAY RUSH
GROUNDCOVERS		S8	LANTANA CAMARA 'GOLD MOUND' GOLD MOUND LANTANA
SYMBOL	NAME	S9	WOODWARDIA FIMBRIATA GIANT CHAIN FERN
G1	ACACIA REDOLENS 'LOW BOY' LOW BOY ACACIA	VINE	
G2	COBBLES	SYMBOL	NAME
G3	COTONEASTER DAMERII 'LOW FAST' BEARBERRY COTONEASTER	V1	FICUS PUMILA CREEPING FIG
G4	FESTUCA RUBRA 'MOLATE' MOLATE RED FESCUE		
G5	MYOPORUM PARVIFOLIUM 'PUTAH CREEK' CREEPING MYOPORUM		

GENERAL NOTES

- MINIMUM PLANT SIZES: STREET TREES (24" BOX), SITE TREES (15 GAL.), SHRUBS (1 GAL.), GROUNDCOVER (FLATS)
- IRRIGATION SYSTEM TO BE INSTALLED AS A PART OF SITE CONSTRUCTION. SYSTEM SHALL BE UNDERGROUND, AUTOMATIC WITH POP-UP SPRAY HEADS, "SMART" CONTROLLER AND AUTOMATIC RAIN SHUTOFF. LOW PRECIPITATION RATE HEADS TO BE USED TO MINIMIZE RUNOFF.
- POINT OF CONNECTION FOR WATER SUPPLY, SHALL BE BY A NEW LANDSCAPE SUB METER.
- ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MEDIUM BARK MULCH AFTER INSTALLATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CITY OF CUPERTINO OR STATE OF CALIFORNIA MODEL WATER CONSERVATION ORDINANCE.
- ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER THE CITY OF CUPERTINO STANDARDS AND CODES.
- FOR SITE WORK, ARCHITECTURAL, AND GRADING/DRAINAGE INFORMATION SEE PLANS BY OTHERS.
- ALL AREAS BEYOND THE AREA OF WORK THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RETURNED TO ORIGINAL CONDITION.
- DRAWINGS ARE FOR DESIGN AND REVIEW PURPOSES ONLY AND SHALL NOT BE USED AS CONSTRUCTION DOCUMENTS.
- TREES PLANTED IN AN AREA LESS THAN 8' WIDE SHALL BE INSTALLED WITH A ROOT BARRIER TO PROTECT AGAINST HARDSCAPE DAMAGE.
- STREET TREES ARE TO BE SELECTED FROM THE CITY OF CUPERTINO APPROVED TREE LIST.



BAY AREA SELF-STORAGE

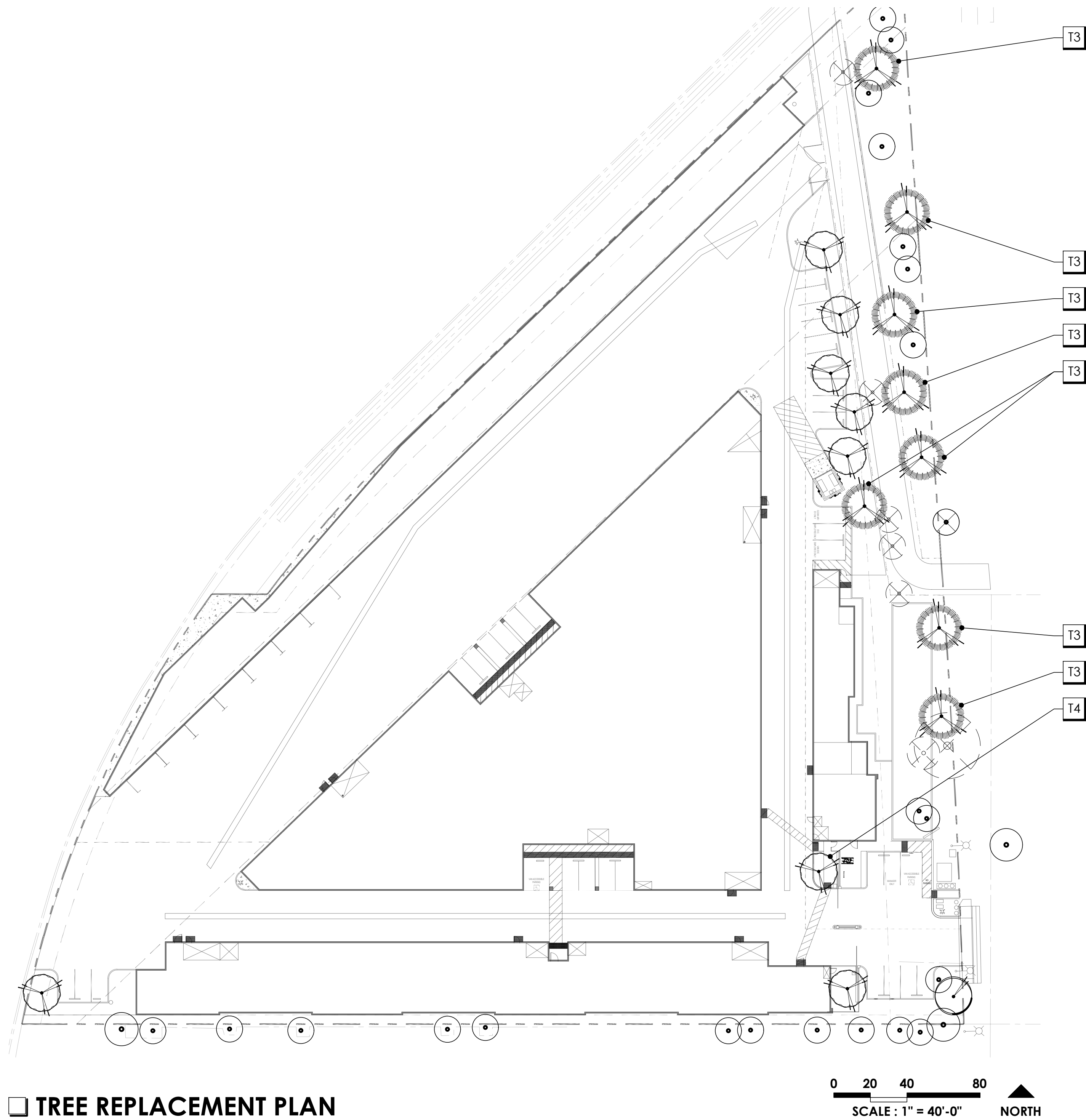
10655 MARY AVENUE // CUPERTINO, CALIFORNIA 95014

SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN A, B, & C

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10121 Miller Avenue, #200
Cupertino, California 95014
T: 408.255.4100

DATE 2020.11.13
21809

SHEET NO.
CLP-01



TREE REPLACEMENT PLAN

TREE PRESERVATION GUIDELINES

Tree Preservation and Protection Plan

In providing recommendations for tree preservation, we recognize that injury to trees as a result of construction include mechanical injuries to trunks, roots and branches, and injury as a result of changes that occur in the growing environment.

To minimize these injuries, we recommend grading operations encroach no closer than six times the trunk diameter (i.e. 30" diameter tree x 6=180" distance). At this distance, buttress/anchoring roots would be preserved and minimal injury to the functional root area would be anticipated. Should encroachment within the area become necessary, hand digging is mandatory.

Barricades

Prior to initiation of construction activity, temporary barricades should be installed around all trees in the construction area. Six-foot high, chain link fences are to be mounted on steel posts, driven 2 feet into the ground, at no more than 10-foot spacing. The fences shall enclose the entire area under the drip line of the trees or as close to the drip line area as practical. These barricades will be placed around individual trees and/or groups of trees as the existing environment dictates.

The temporary barricades will serve to protect trunks, roots and branches from mechanical injuries, will inhibit stockpiling of construction materials or debris within the sensitive 'drip line' areas and will prevent soil compaction from increased vehicular/pedestrian traffic. No storage of material, topsoil, vehicles or equipment shall be permitted within the tree enclosure area. The ground around the tree canopy shall not be altered. Designated areas beyond the drip lines of any trees should be provided for construction materials and onsite parking.

Root Pruning (if necessary)

During and upon completion of any trenching/grading operation within a Tree Protection Zone, clean pruning cuts of exposed, damaged or severed roots greater than one inch diameter should be accomplished under the supervision of a qualified Arborist to minimize root deterioration beyond the soil line within twenty-four (24) hours.

Pruning

Pruning of the foliar canopies to include removal of deadwood is recommended and should be initiated prior to construction operations. Such pruning will provide any necessary construction clearance, will lessen the likelihood or potential for limb breakage, reduce 'windsail' effect and provide an environment suitable for healthy and vigorous growth.

Irrigation

A supplemental irrigation program is recommended for the ? trees and should be accomplished at regular three to four-week intervals during the period of May 1st through October 31st. Irrigation is to be applied at or about the 'drip line' in an amount sufficient to supply approximately ten (10) gallons of water for each inch in trunk diameter.

Irrigation can be provided by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hoses, water is to be run at low pressure, avoiding runoff/puddling, allowing the needed moisture to penetrate the soil to feeder root depths.

Fertilization

A program of fertilization by means of deep root soil injection is recommended with applications in spring and summer for those trees to be impacted by construction. Fertilizer should include organic blends and components such as mycorrhizae and bio stimulants.

Such fertilization will serve to stimulate feeder root development, offset shock/stress as related to construction and/or environmental factors, encourage vigor, alleviate soil compaction and compensate for any encroachment of natural feeding root areas.

Inception of this fertilizing program is recommended prior to the initiation of construction activity.

Mulch

Mulching with wood chips (maximum depth 3") within tree environments (outer foliar perimeter) will lessen moisture evaporation from soil, protect and encourage adventitious roots and minimize possible soil compaction.

Inspection

Periodic inspections by the Site Arborist are recommended during construction activities, particularly as trees are impacted by trenching/grading operations.

Inspections at approximate four (4) week intervals would be sufficient to assess and monitor the effectiveness of the Tree Preservation Plan and to provide recommendations for any additional care or treatment.

All written material appearing herein constitutes original and unpublished work of the Arborist and may not be duplicated, used or disclosed without written consent of the Arborist.

We thank you for this opportunity to be of assistance in your tree preservation concerns.

Should you have any questions, or if we may be of further assistance in these concerns, kindly contact our office at any time.

McCLENAHAN CONSULTING, LLC

John H. McClenahan

By: John H. McClenahan
ISA Board Certified Master Arborist, WE-1476B
member, American Society of Consulting Arborists

Summary

Trees one through thirteen are located on the City of Cupertino neighboring property. Proposed site improvements will include two bioretention areas that will require removal of eight trees (17-23 and 29). Trees scheduled for removal are not protected by city ordinance due to species. Tree Protection Zones have been defined for each tree as six times the trunk diameter from the root flare. Tree protection fencing should be installed as close to the TPZ or dripline as feasible, (whichever distance is greater). Figure 2 indicates the trees protected by City of Cupertino ordinance. Although it is recommended that grading and excavation do not occur within the TPZ, the following recommendations will help protect trees to remain should grading or excavation occur within a TPZ.

- Any grading or excavation within TPZ must be accomplished by hand or air digging
- A qualified arborist must supervise any cutting of roots within TPZ
- A qualified arborist must provide mitigation for any root cutting in the TPZ
- Adoption of Tree Preservation Guidelines will enhance prognosis

Tree removals non protected trees with protected tree mitigation requirements		
17 Red ironbark	19.2"	One 36-inch box tree
18 Red ironbark	15.8, 12.6, 14.5, 14.2, 13.7, 12.2"	One 36-inch box tree
19 Eucalyptus	20.6"	One 36-inch box tree
20 Eucalyptus	16.5"	One 36-inch box tree
21 Eucalyptus	23.3"	One 36-inch box tree
22 Eucalyptus	17.5, 10.3, 9"	One 36-inch box tree
23 Chinese pistache	18.1"	One 36-inch box tree
29 Tree of heaven	8.9"	One 24-inch box tree

Figure 1: Proposed removals with mitigation

TREE REPLACEMENT LEGEND

TREES

SYMBOL	NAME	SIZE	QTY.
	EXISTING TREE TO REMAIN		30
	EXISTING TREE TO BE REMOVED		8
	PLATANUS X ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	36" BOX	7
	PISTACHIA CHINENSIS CHINESE PISTACHE	24" BOX	1

STREET TREE

SYMBOL	NAME	SIZE	QTY.
	PISTACHIA CHINENSIS CHINESE PISTACHE	24" BOX	1

NOTE:

FOR MORE INFORMATION SEE THE ATTACHED ARBORIST REPORT & CLP-01.

PLEINAIRE DESIGN GROUP

3203 Lightning St., Ste. 201 // Santa Maria, CA 93455
805.349.9695 // www.pleinairedg.com

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BAY AREA SELF-STORAGE

10655 MARY AVENUE // CUPERTINO, CALIFORNIA 95014

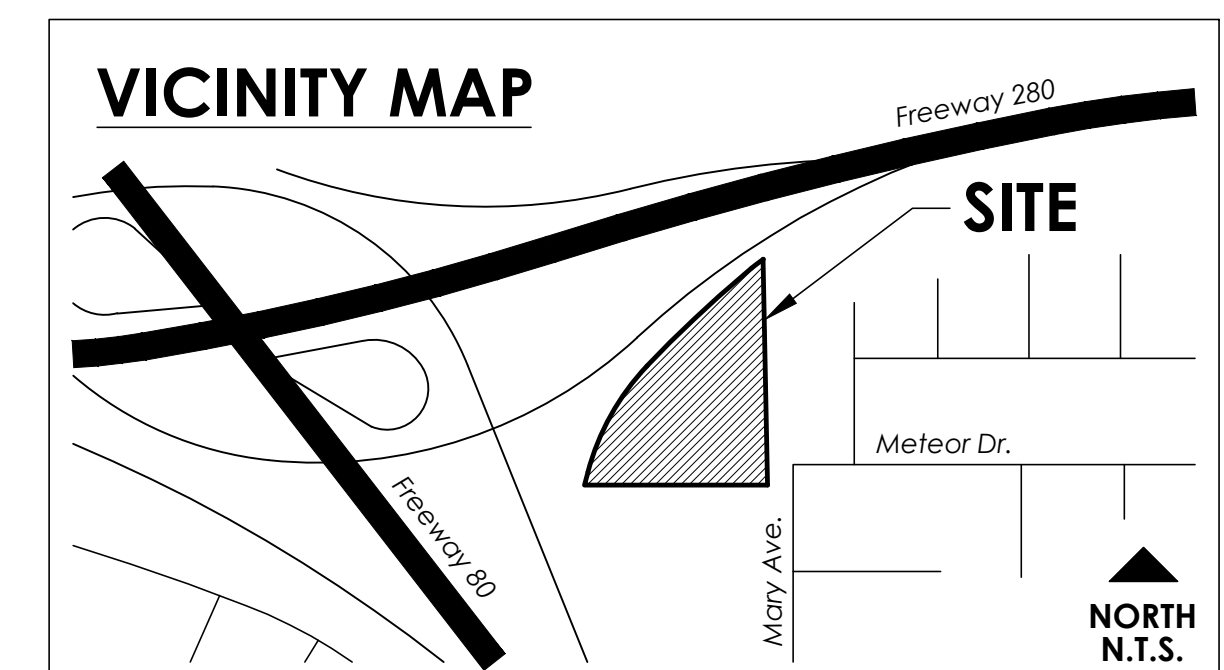
SHEET TITLE

TREE REPLACEMENT PLAN

OWNER Bass Cupertino, LLC
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T: 408.255.4100
DATE 2020.11.13
21809

SHEET NO.

CLP-02





Lowboy Acacia



Bearberry Cotoneaster



Molate Red Fescue



Creeping Myoporum



Berkeley Sedge



Natal Plum



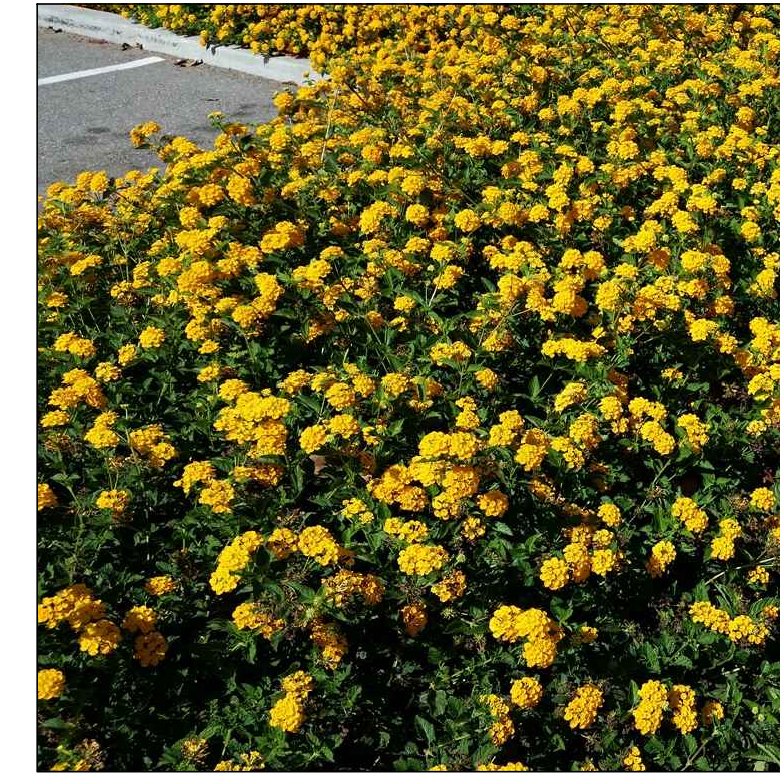
Small Cape Rush



Santa Barbara Mexican Bush Sage



Variegated Lily Turf



Gold Mound Lantana



Giant Chain Fern



Karl Foerster Feather Reed Grass



California Grey Rush

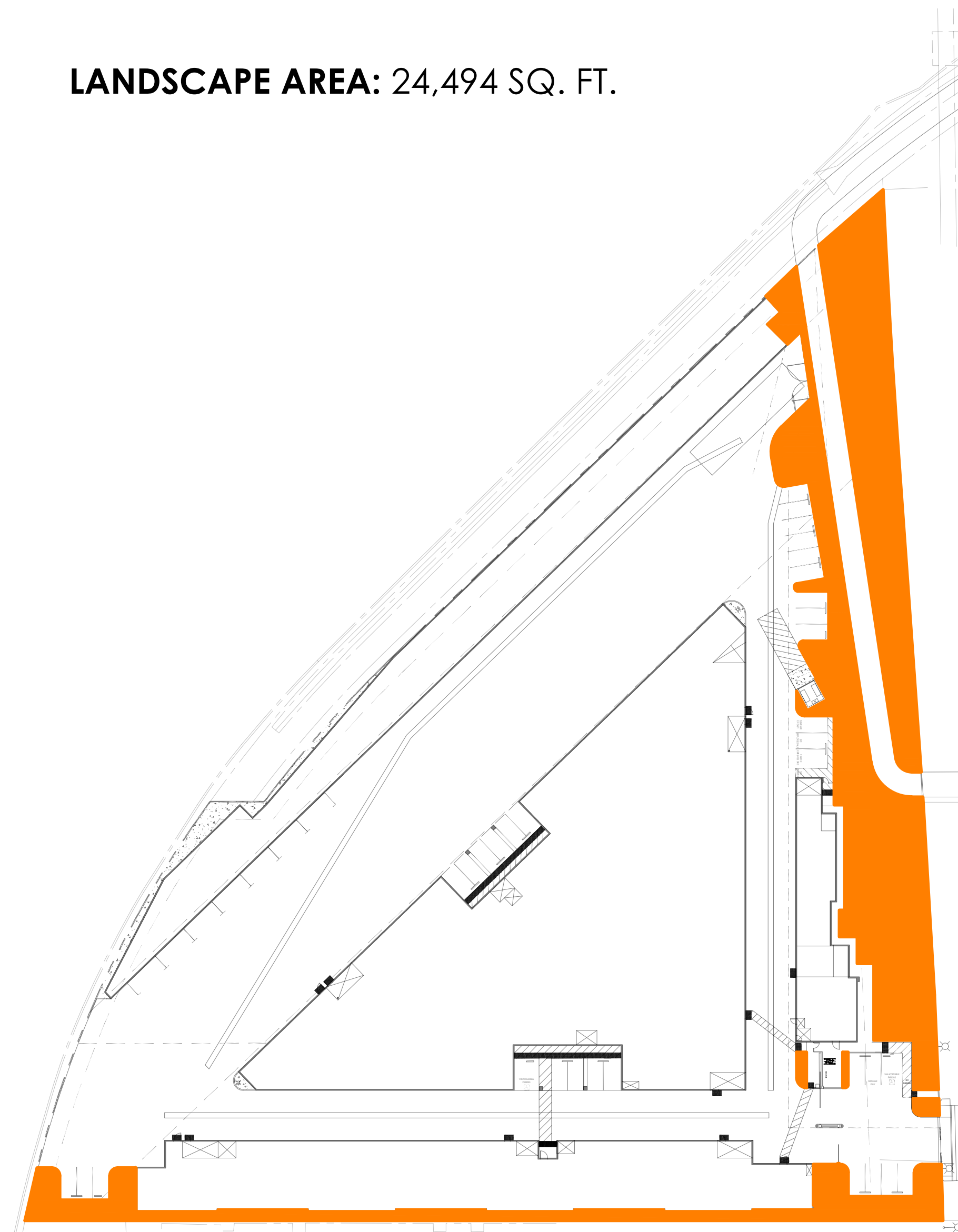


Bloodgood London Plane



Chinese Pistache

LANDSCAPE AREA: 24,494 SQ. FT.



LANDSCAPE AREA MAP



NOTE:
PLANT IMAGERY SHOWN IS REPRESENTATIVE ONLY. FINAL SELECTIONS MAY VARY. SEE CONCEPTUAL PLANTING LEGEND FOR MORE INFORMATION.

**CITY OF CUPERTINO
WATER EFFICIENT LANDSCAPE WORKSHEET**

City of Santa Maria Reference Evapotranspiration (ET _o): 45.3								
Hydrozone # /Planting Description a	Plant Factor (PF)	Irrigation Method b	Irrigation Efficiency (IE)c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Water (ETWU) e	Total Use
Regular Landscape Areas								
Very Low	0.1	drip	0.81	0.12	-	-	-	-
Low	0.2	drip	0.81	0.25	-	-	-	-
Low	0.3	drip	0.81	0.37	23,230.00	8,603.70	241,643.62	
Medium	0.5	drip	0.81	0.62	1,264.00	780.25	21,914.01	
Non-irrigated	0		0.81	0.00	-	-	-	-
Totals					24,494.00	9,383.95	263,557.64	
Special Landscape Areas								
Turf				1	-	-	-	-
Totals					-	-	-	-
ETWU Total							263,557.64	
Maximum Allowed Water Allowance (MAWA)							309,572.32	

a Hydrozone #/Planting Description
E.g.
1.) front lawn
2.) medium water use planting

b Irrigation Method
overhead spray or drip

c Irrigation Efficiency
0.75 for spray head
0.81 for drip

d ETWU (Annual Gallons Required)
= ET_o x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

e MAWA (Annual Gallons Allowed)
= (ET_o) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations:
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area (B+D)	9,383.95
Total Area (A+C)	24,494.00
Site-wide ETAF (B+D) ÷ (A+C)	0.38

Regular	
Total ETAF x Area (B)	9,383.95
Total Area (A)	24,494.00
Average ETAF (B ÷ A)	0.38

**PLEINAIRE
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BAY AREA SELF-STORAGE

10655 MARY AVENUE // CUPERTINO, CALIFORNIA 95014

SHEET TITLE

**PLANT IMAGERY
& AREA MAP**

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CLP-03