

MONTA VISTA DESIGN GUIDELINES

Monta Vista Design Guidelines

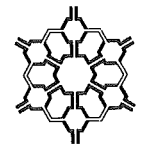
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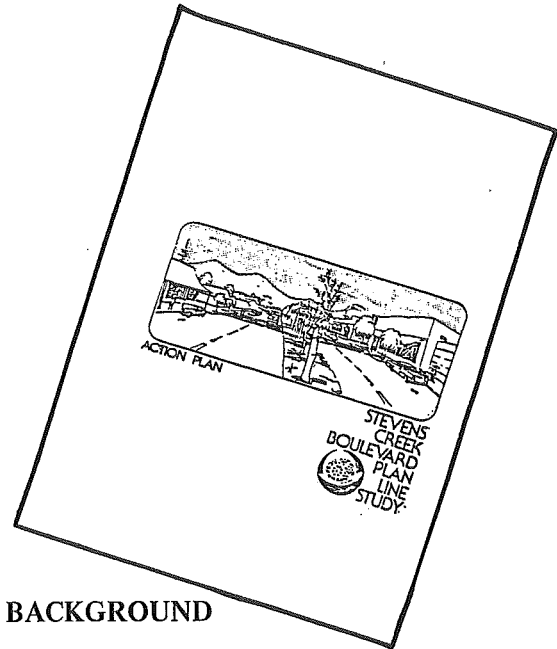


Monta Vista Design Guidelines

1. Description

The Monta Vista Design Guidelines refine and implement the policies of the Cupertino General Plan and the Stevens Creek Boulevard Plan Line (Monta Vista Specific Plan) by outlining building design details, landscaping treatment, signage and public improvement details for the Monta Vista Commercial Area. The guidelines describe in outline format the responsibility of property owners and applicants presenting new development proposals, redevelopment proposals (including change of sign face), and public improvement activity.

The applicant's architect, designer, or sign professional is expected to address in written or graphic form all of the applicable points outlined below in conjunction with an application submittal. The section on implementation outlines activities which will trigger improvement requirements, or conformance with the standards. In some cases, changes in land use activity may trigger one or more of the other improvements related to landscaping, public improvements, signage improvements, etc.



BACKGROUND

Monta Vista Specific Plan (Stevens Creek Boulevard Plan Line - Action Plan) Adopted February 21, 1978

Development Activity and Sign Change Requests

City Investments in Public Improvements

- Water Lines
- Railroad Crossing/Landscaping
- Rehabilitation of Residential Structures

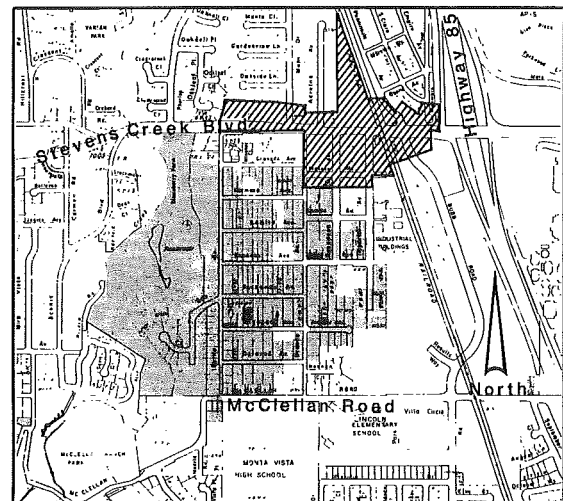
2. Location


Monta Vista Commercial Area
"Downtown Monta Vista"

- North and South sides of Stevens Creek Boulevard from the Southern Pacific Railroad right-of-way to Byrne Avenue (West edge of the Monta Vista Hardware Center) and;
- From Stevens Creek Boulevard South to Granada Avenue and for Orange Avenue to the Southern Pacific Railroad right-of-way

Area East of Southern Pacific Railroad right-of-way (SPRR)

- North and south side of Stevens Creek Boulevard from the SPRR to Highway 85



 MONTA VISTA COMMERCIAL AREA

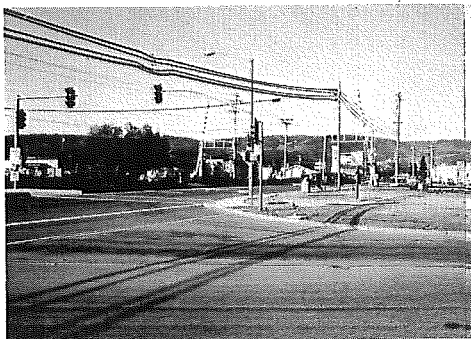
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3. Objectives

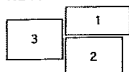
- DESIGN CONTINUITY
- AESTHETICS
- FUNCTION AND SAFETY
- ENHANCE AS A NEIGHBORHOOD SHOPPING DISTRICT
- EMPHASIZE PEDESTRIAN ORIENTATION
- ENCOURAGE "VILLAGE" ATMOSPHERE
- CREATE A VISUALLY DISTINCTIVE AND UNIFYING THEME
- EMPHASIZE HIGHLY DEFINED BOUNDARIES
- RECTIFY SITE, LANDSCAPING AND STREET DEFICIENCIES

4. Problem Statement

- INCONSISTENT DESIGN TREATMENT
- MONOTONY OF MATERIALS
- LACK OF LANDSCAPING
- ABANDONED BUILDINGS/BLIGHT
- SUBSTANDARD LOT SIZE
- INADEQUATE PUBLIC FACILITIES
- LACK OF PUBLIC IMPROVEMENTS
- EXCESSIVE AND INAPPROPRIATE SIGNAGE (1)
- LACK OF PRIVATE INVESTMENT (2)
- OVERHEAD UTILITY LINES (3)



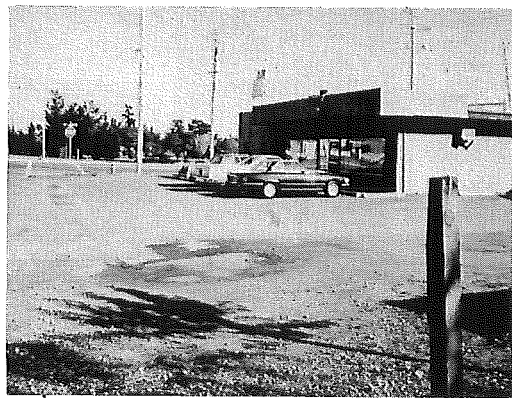
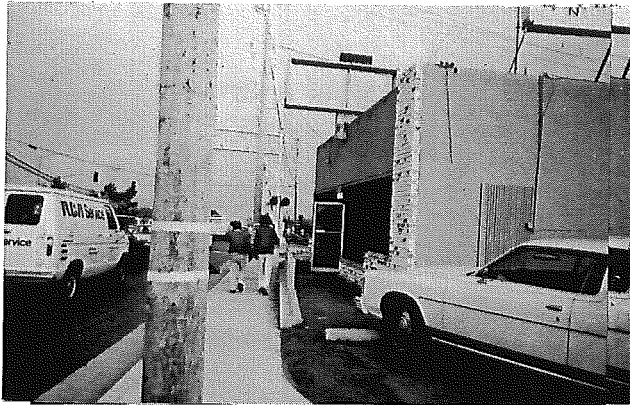
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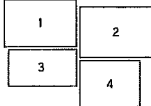
Monta Vista Design Guidelines

4. More Problems

- DOMINANCE OF THE AUTOMOBILE (1)
- BILLBOARD (2)
- MIX OF COMMERCIAL TYPE "TRADITIONAL DOWNTOWN" VS. SUBURAN CENTER (3)
- UNSCREENED ROOF EQUIPMENT
- HAPHAZARD BUILDING ALTERATIONS
 - WALLING IN WINDOWS
 - INAPPROPRIATE BUILDING MATERIALS
- NO CURB, GUTTER OR SIDEWALK (4)



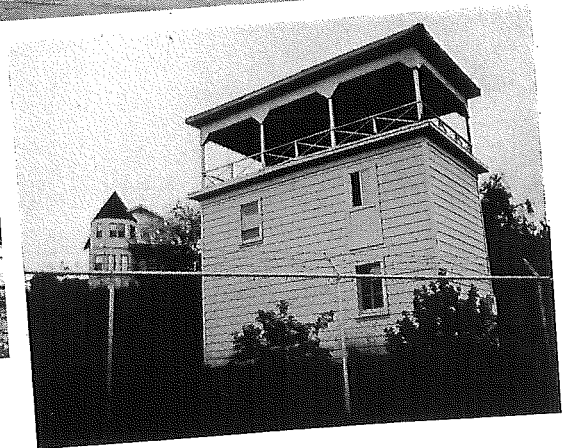
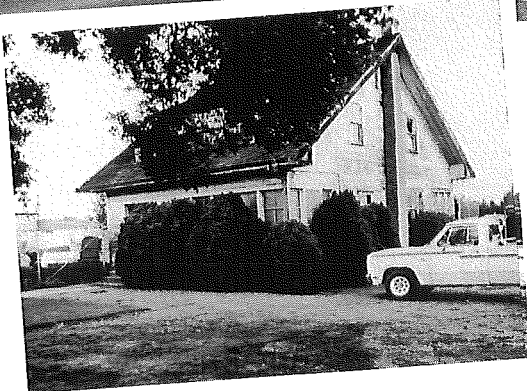
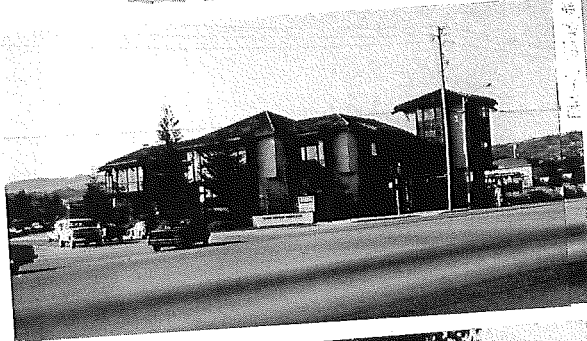
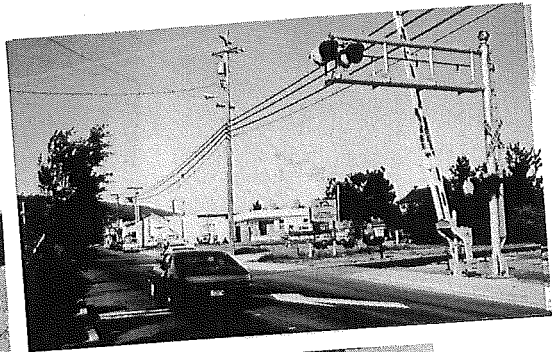
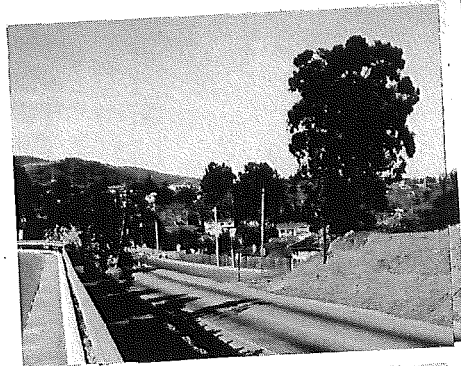
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Monta Vista Design Guidelines

5. Focal Points

- NATURAL STEVENS CREEK LANDSCAPING (1)
- HASSAN AMER BUILDING (BUBB ROAD) (3)
- "QUINTERNO" HOUSE (5)
- "OAK DELL RANCH" WATER TOWER (6)
- SOUTHERN PACIFIC CROSSING/RAILROAD TRACKS (2)
- PAUL AND EDDIE'S MONTA VISTA INN (4)



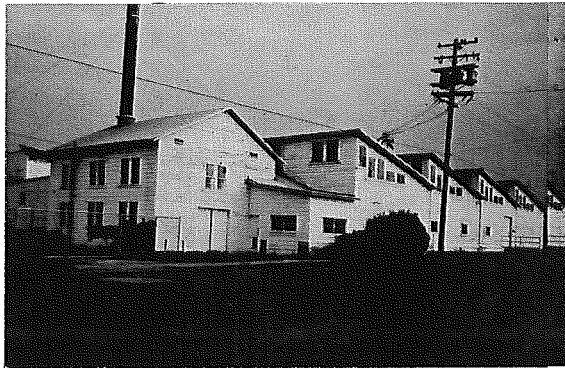
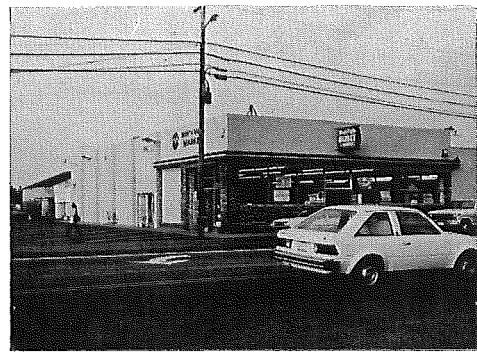
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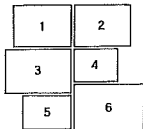
Monta Vista Design Guidelines

5. More Focal Points

- REFREDI'S "MONTA VISTA" MARKET (1, 2)
- WOEFFEL CANNERY (3)
- RENOVATED COTTAGE (5)
- MARIUS NELSON BUILDING (4)
- MONTA VISTA COTTAGES (6)



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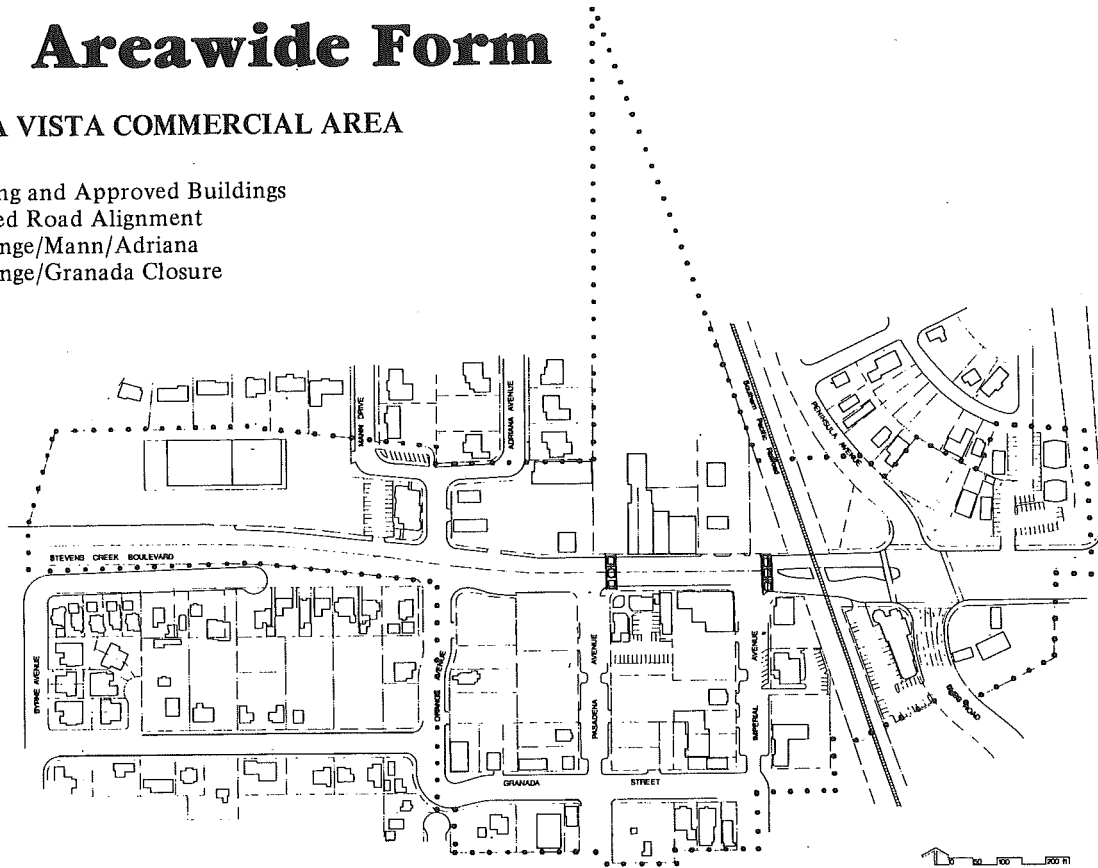


Monta Vista Design Guidelines

6. Areawide Form

MONTA VISTA COMMERCIAL AREA

- Existing and Approved Buildings
- Planned Road Alignment
 - Orange/Mann/Adriana
 - Orange/Granada Closure



A. VISUAL DISTINCTION

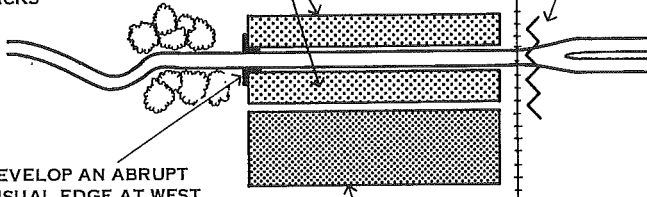
- Achieve distinction to the “Downtown Monta Vista” area by varying height and massing of buildings – see Building Design section

TWO-STORY STRUCTURES (WITH SOME THREE-STORY ELEMENTS) PROMOTE A TIGHT WELL DEFINED STREET SPACE TO CONTRAST WITH BROAD, OPEN CHARACTER OF STEVENS CREEK BOULEVARD EAST OF THE RAILROAD TRACKS

DEVELOP AN ABRUPT VISUAL EDGE AT WEST END OF AREA BY USE OF TREE MASSING AND STRONG BUILDING FORMS

PROVIDE AN ABRUPT CHANGE IN LANDSCAPE AND BUILDING APPEARANCE AT RAILROAD TRACKS TO REDEFINE IDENTITY OF MONTA VISTA AREA

ONE TO TWO-STORY STRUCTURES – RETAIN DOMESTIC SCALE OF ADJOINING RESIDENTIAL AREAS AND EXISTING RESIDENTIAL STRUCTURES



Monta Vista Design Guidelines

6. Areawide Form (cont)

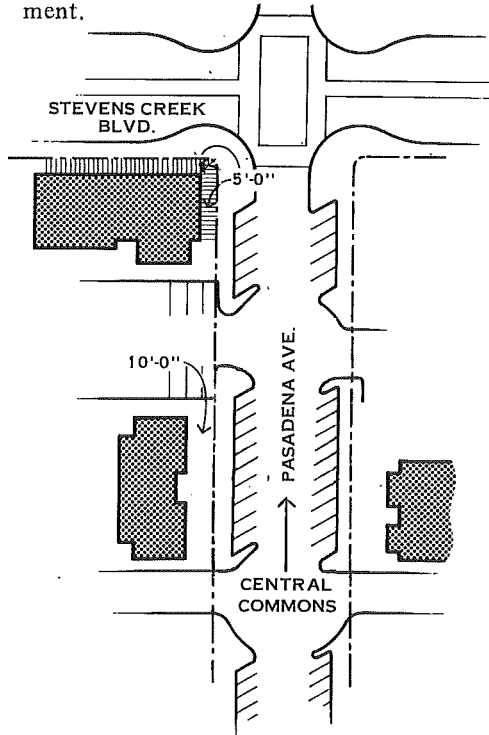
B. DEFINED STREET SPACE

Achieve a highly defined street space along Stevens Creek Boulevard by:

- two story construction with some three-story elements allowed on the frontage properties.
- minimal building setbacks from the public right of way.
- no sideyard setbacks except on side streets and where used as public pedestrian entrance to mid-block areas.
- providing curb “kickouts” at pedestrian crossings per exhibit labeled “Urban Design Sketch” on page 9.

C. BUILDING PLACEMENTS (SETBACKS)

- Minimum 5' setback from property lines adjacent to public streets.
- 10' setback in Central Commons Area (Pasadena Avenue).
- No interior sideyard or rear setback requirement.

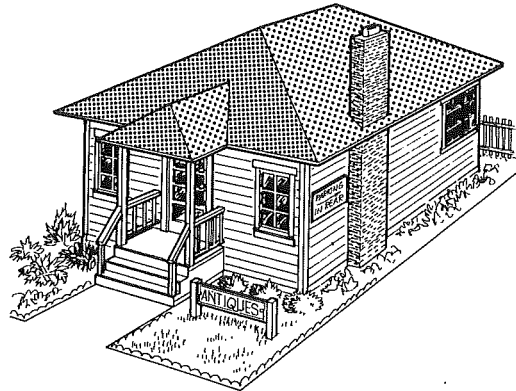


D. BUILDING INTENSITY

- Building area to net land area ratio per the Cupertino General Plan

E. RETENTION OF EXISTING STRUCTURES

Existing woodsided cottages may be retained and used commercially provided they are renovated to conform with these guidelines and applicable codes and ordinances.



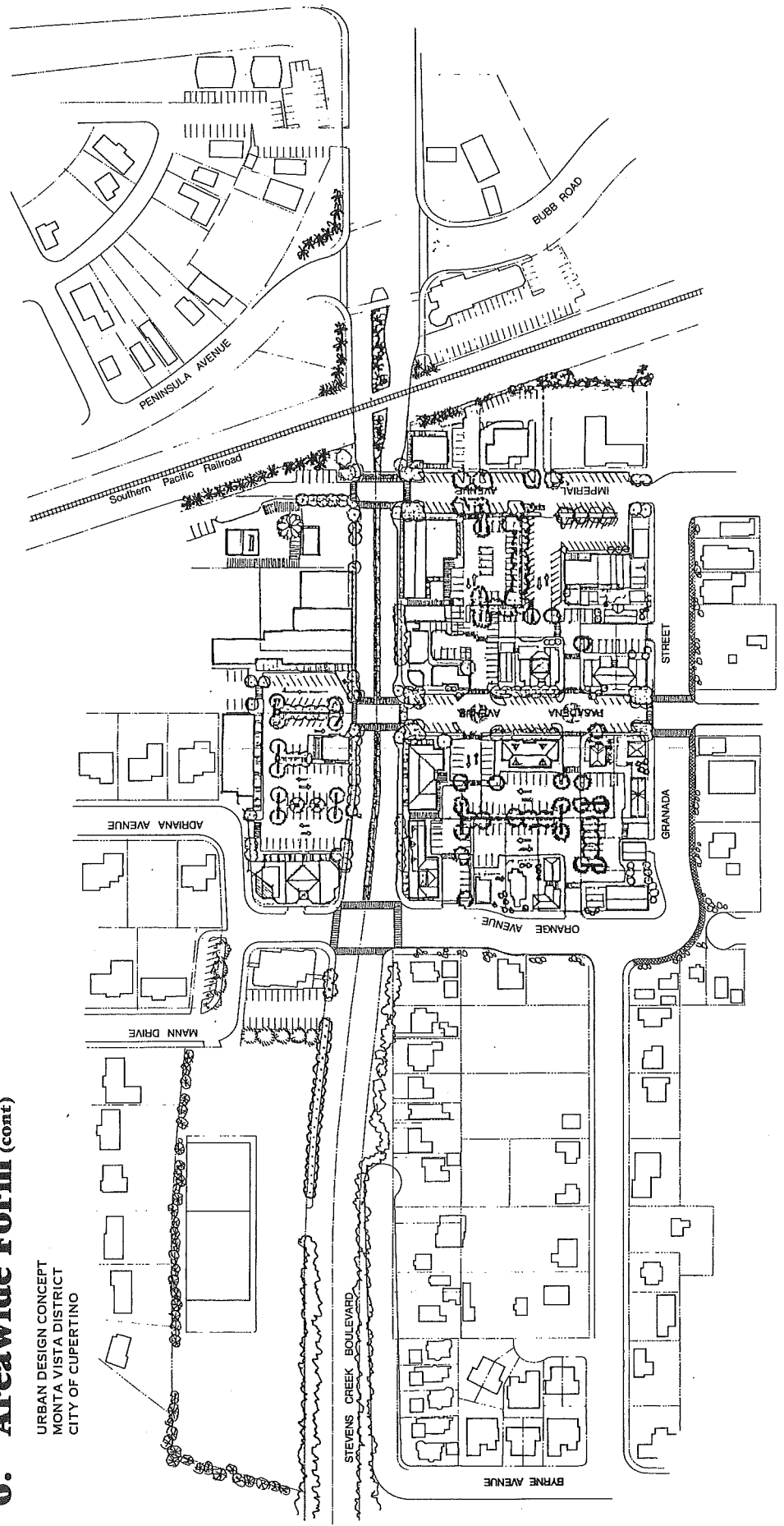
Existing commercial buildings may be retained if renovated to conform with these guidelines with following exceptions.

- The existing abandoned service station structures on Stevens Creek Boulevard may not be utilized as presently configured. These sites must be redeveloped to conform with these guidelines.
- Monta Vista Hardware Center (West of Mann Drive)
 - Encouraged to explore complete redevelopment consistent with these guidelines.
 - Minor renovation permitted
 - No major addition or renovation will be permitted if inconsistent with these standards.
- The following concept sketch illustrates building placement and redevelopment.

Monta Vista Design Guidelines

6. Areawide Form (cont)

URBAN DESIGN CONCEPT
MONTA VISTA DISTRICT
CITY OF CUPERTINO



Monta Vista Design Guidelines

7. Architectural Style & Materials

A. CONSISTENT AND UNIFYING THEME

- Materials
- Colors
- Building Forms

B. ARCHITECTURAL STYLE

- Rectilinear form with “Queen Anne” or “Victorian” embellishments

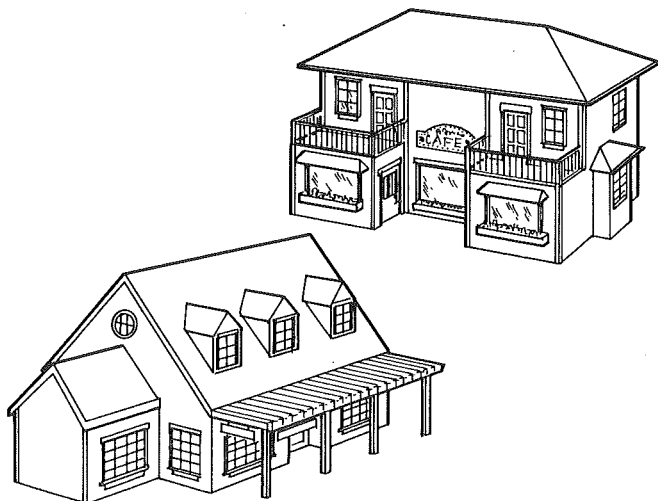
C. BUILDING FORM

Provide vertical and horizontal changes in the face of facades by use of:

- projecting bays, dormer windows.
- recesses.
- balconies, decks.
- canopies, covered walkways, arcades, porches.

Provide a consistent architectural treatment for all facades of freestanding structures.

- Variations in front and rear facades are appropriate where side walls are not exposed to public view.



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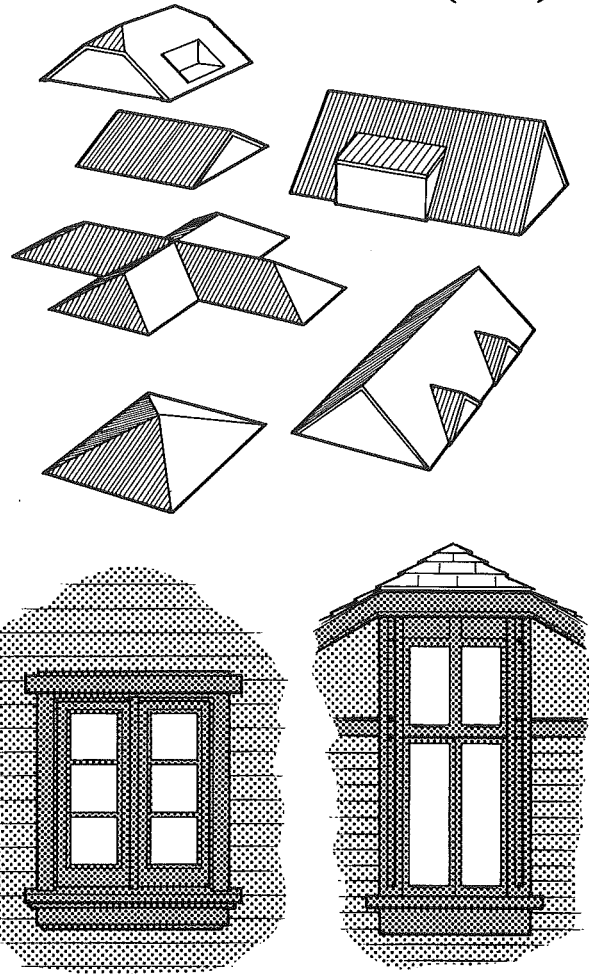
7. Architectural Style & Materials

(cont)

D. MATERIALS/COLORS AND ARCHITECTURAL DETAILS

Horizontal woodsiding painted in muted "earth" colors.

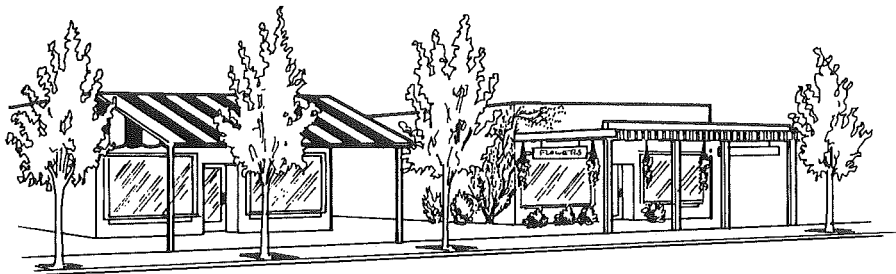
- Color Palette (Examples)
 - Beige
 - Muted Yellows
 - Pale Peach
 - Blue grey
 - Ochre
 - Dusty Rose
- Roof Treatment
 - Pitched
 - Shed
 - Gable
 - Hip
 - Smooth surface, smooth shingles or heavy composition shingle
 - Emphasize ornamental embellishments at cornices, eave line, window and door openings, and fascia panels
- Doors, window frames, balustrades and other features may be painted in a darker, contrasting tone.
- Avoid
 - Flat or mansard roofs
 - Overly rustic appearance



E. RENOVATION OF EXISTING STRUCTURES

Where feasible, provide new pitched, gable or shed roofs on existing flat-roofed buildings.

Where infeasible to add new roof structure, utilize continuous covered walkway or awning over display windows to increase interest of the major frontage of buildings.



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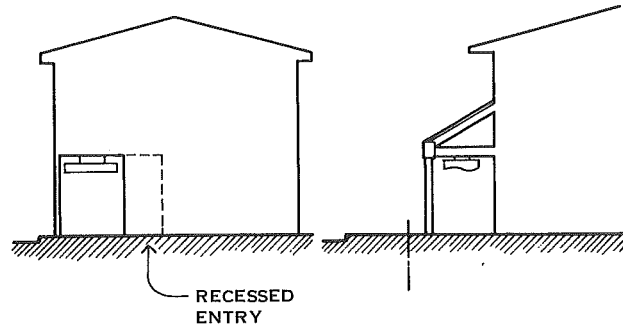
7. Architectural Style & Materials (cont)

F. CONTINUOUS COVERED WALKWAYS

Integrate continuous covered walkway into facade of existing and new buildings on Stevens Creek Boulevard and along face of buildings fronting the major parking area North of Stevens Creek Boulevard.

At new structures along Stevens Creek, maintain unencumbered pedestrian circulation by:

- Providing recessed walkways with second story projections out to the property line.
- Integrating arcades into the face of the new structure with a minimum 8 ft. building setback.
- Maintain minimum 7 foot vertical clearance for covered walkways.



- Rear entrance treatment
 - Rear entrances to commercial retail shops is encouraged.
 - Walkways should be provided along back of shops and through rear parking areas.

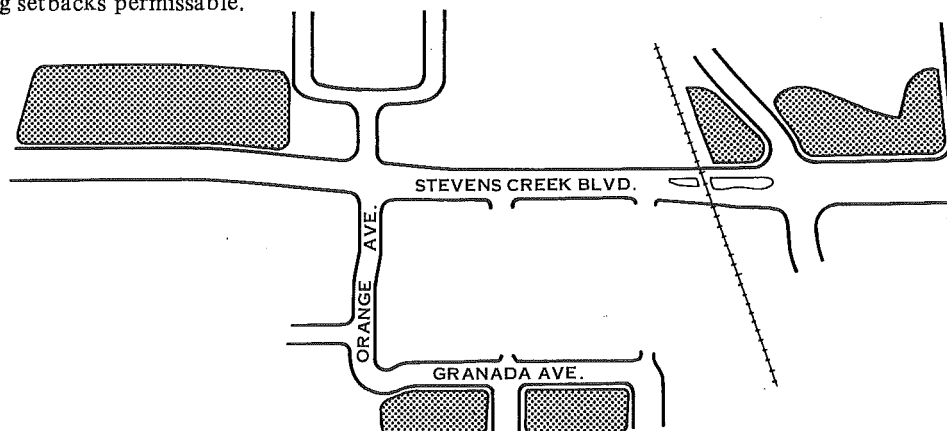
G. EXCEPTIONS

East of SPRR Right-of-way

- Avoid stark contrasts with adopted building style.
- May utilize blend of materials with wood siding.
- Example: Hassan Amer Office Building

South of Granada Avenue and Monte Vista Hardware Center

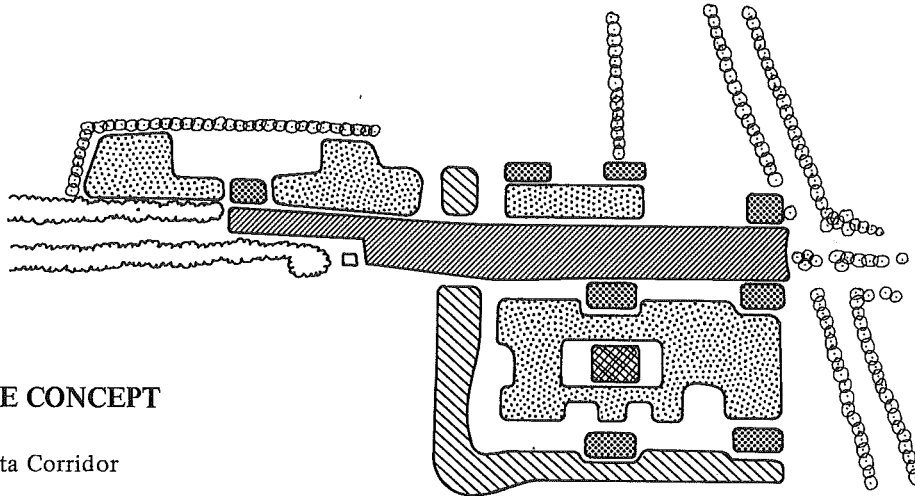
- Avoid stark contrast with adopted building style.
- Encourage retention of existing "Domestic Scale" residential Buildings.
- Existing setbacks permissible.










Monta Vista Design Guidelines

8. Landscaping

The landscape concept for the Monta Vista district is diagrammed below. It identifies a number of distinct landscape zones for which a specific character and planting scheme are developed.



A. LANDSCAPE CONCEPT

-  Monta Vista Corridor
-  Gateways
-  Central Commons
-  Secondary Streets
-  Parking Areas
-  Perimeter
-  Rural Transition

B. RECOMMENDED TREE SPECIES (BY ZONE)

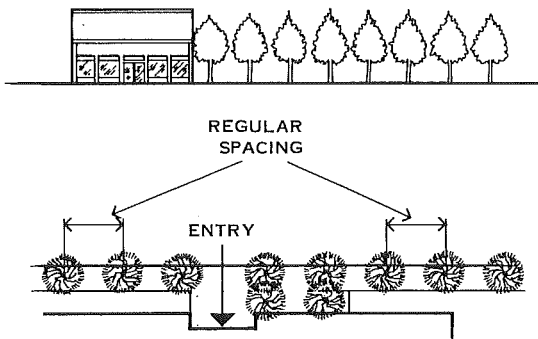
Landscape Zone	Botanic Name	Common Name
Monte Vista Corridor	Ginkgo Biloba "Fairmount"	Maidenhair Tree
Gateways	Ginkgo Biloba "Fairmount"	Maidenhair Tree
Central Commons	Pyrus Kawakami	Evergreen Pear
Secondary Streets	Pyrus Kawakami	Evergreen Pear
Parking Areas	Quercus Agrifolia	Coast Live Oak
Perimeter	Pinus Radiata	Monterey Pine
Rural Transition	Eucalyptus Sideroxylon	Red Ironbark
Adjacent to Buildings (characteristic species)	Prunus Cerasifera "Krauter Vesuvius" Pyrus Kawakami Malus sp.	Purple Leaf Plum Evergreen Pear Flowering Crabapple

Monta Vista Design Guidelines

8. Landscaping (cont)

C. MONTA VISTA CORRIDOR & GATEWAY LANDSCAPING

1. Utilize the strong geometry of regular street tree spacing in tightly formed "groves" to reinforce the architectural massing along Stevens Creek Boulevard and create a highly defined street space.

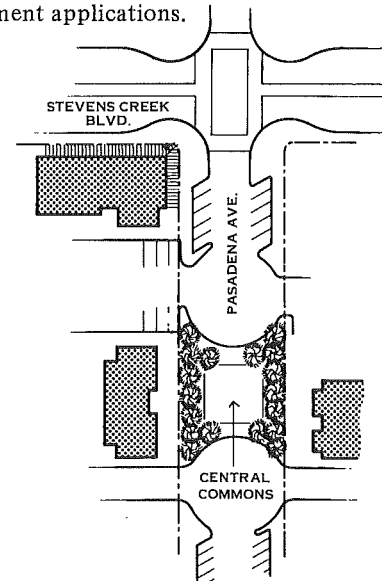


2. Identify major gateways to the shopping district with a strong vertical form.
 - A. Establish regular spacing of street tree 15'0".
 - B. Cast iron tree grate for all street trees in public R.O.W. and for all street trees in paved illustration areas outside of public R.O.W. (see furniture, fences and accessories page 21).
 - C. Tree planting in this zone is limited to the selected street tree specie. Supplement the street-tree with additional trees in development areas to increase depth of the "grove".
 - D. Use tree spacing to define entry ways to buildings.
 - E. Limit foundation planting and ground plane planting to non-trafficked areas.
 - F. Articulate entrances with detailed planting such as widow boxes and planter tubs.
3. Evergreen trees shall be randomly introduced into private landscaped plans.

D. CENTRAL COMMONS LANDSCAPING

1. Evaluate provision of a formally landscaped area between two cul-de-sacs on Pasadena Avenue to establish a central focus for the shopping district.
 - A. Require regular spacing of ornamental trees to enclose central area but permit emergency vehicular movement through Pasadena Avenue R.O.W.
 - B. Establish a lawn area in the central green with a continuously paved perimeter sidewalk.
 - C. Encourage provision for an architectural feature within the space, e.g., a victorian styled gazebo.
 - D. Provide pole lighting around perimeter of lawn area at regular spacing. (See lighting guidelines.)

2. Closure at Pasadena Avenue will be reviewed in conjunction with any contiguous development applications.

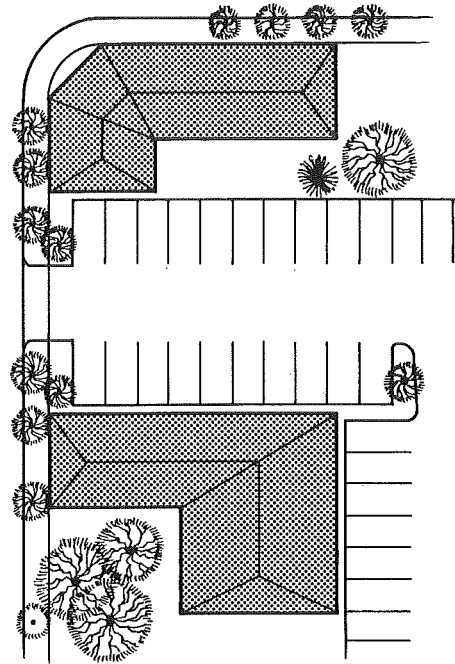


Monta Vista Design Guidelines

8. Landscaping (cont)

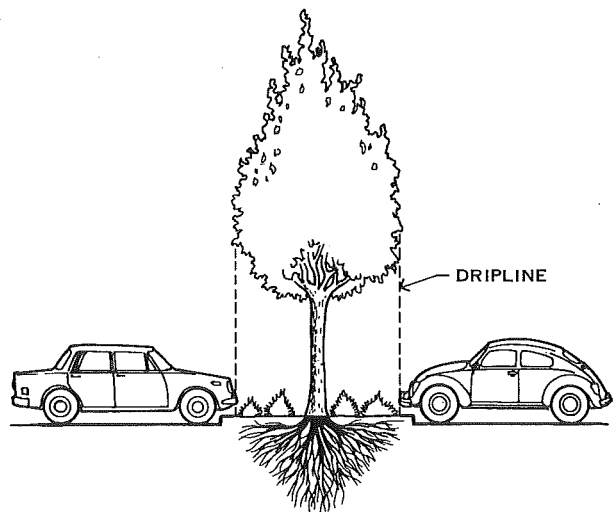
E. SECONDARY STREET LANDSCAPING

1. Retain informal character that derives from the large variety of mature tree forms in irregular arrangement but strengthen identity of commercial district perimeter.
 - A. Add street trees in the parkways wherever they will not conflict with existing mature trees or driveway entrances.
 - Space trees irregularly
 - Establish groves where space permits
 - Avoid a uniform setback from the curb
 - Minimum one tree for every 25 feet of street frontage



F. PARKING AREA LANDSCAPING

1. Maximize the retention of existing mature trees in parking areas to retain character and soften impact from incremental changes to the district.
 - A. Protect root zone of existing mature trees, whenever possible, by retaining a planted area encompassing the dripline in accordance with the tree ordinance.
 - B. Where feasible, incorporate more than one tree into a single planted area to minimize disruption of paved surfaces.
2. Add broad crowned canopy trees to provide additional shading within the parking areas.

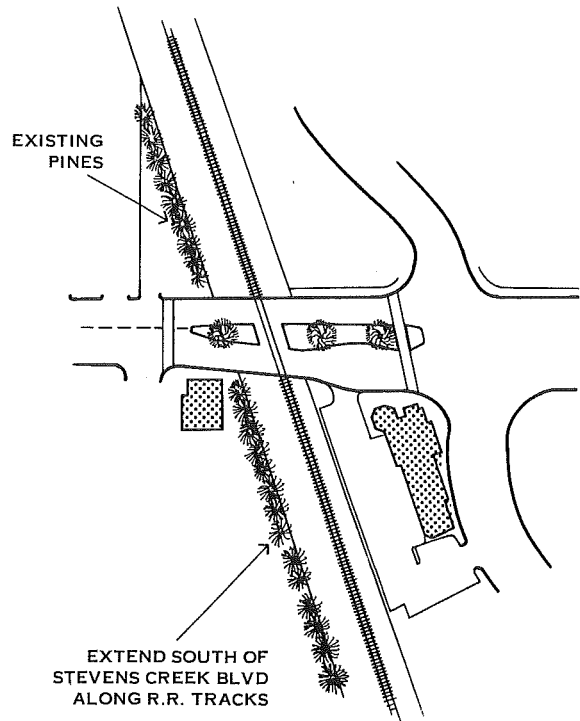


Monta Vista Design Guidelines

8. Landscaping (cont)

G. PERIMETER LANDSCAPING

1. Provide suitable visual screening of the commercial district by utilizing a consistent landscape material in long, continuous patterns.
 - A. Reinforce existing planting pattern established adjacent to the railroad tracks.
 - Extend the row planting of pine trees South of the tracks
 - B. Replant existing traffic island on Stevens Creek Boulevard.
 - Use same perimeter tree specie
 - Plant in dense but informal clusters to increase definition of entrance into Monta Vista district
 - C. Perimeter landscaping is required to screen rear property lines of the hardware store and the rock supply yard as indicated in the Landscape Concept diagram.



H. LANDSCAPING ADJACENT TO BUILDINGS

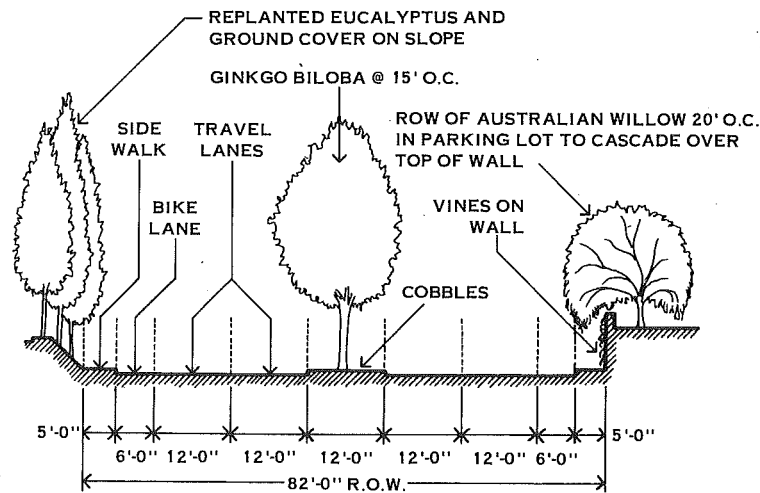
1. Retain informal character and reflect disaggregated ownership pattern by using a variety of plant materials in scale with the one to three story structures.
 - A. Emphasize flowering ornamental trees in informal "garden" settings.
 - B. Provide planting of outdoor areas that promotes their utility for activity areas.
 - C. Establish a richly textured ground plane with many different ground covers and shrubs that serve to identify "outdoor rooms" and pathways.
 - D. Retain domestic character of planting around existing structures that will be retained.

Monta Vista Design Guidelines

8. Landscaping (cont)

I. RURAL TRANSITION LANDSCAPING

1. Retain the rural character of the existing two-lane "country road" as it leaves the Monta Vista district and drops down into the Stevens Creek Creek-Side so long as traffic conditions will permit.
 - A. Stabilize the existing embankments with ground covers and tree planting.
 - B. Soften the distinction of the property line by extending the same planting materials and character into the adjacent properties.
 - C. Utilize the rural transition zone to integrate the Western edge of the district visually with the adjacent rural setting.
2. If West Stevens Creek is widened to a four-lane road and a retaining wall is incorporated into the cross-section, minimize impact of concrete retaining wall by introducing vegetation into the street R.O.W.
 - A. Provide a planted median and extend the Monta Vista corridor street tree into this zone.
 - B. Add a row of broad-crowned evergreens planted in the hardware store parking lot to provide a cascade of foliage over the top of the retaining wall.
 - C. Provide vine packets at the base of the wall to permit foliage to attach to the face of the wall.
 - D. Replant the exposed slope on the South side of the boulevard with informally massed transition zone trees and ground cover.

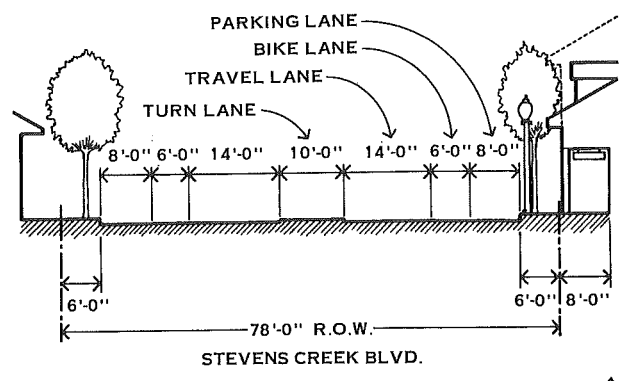
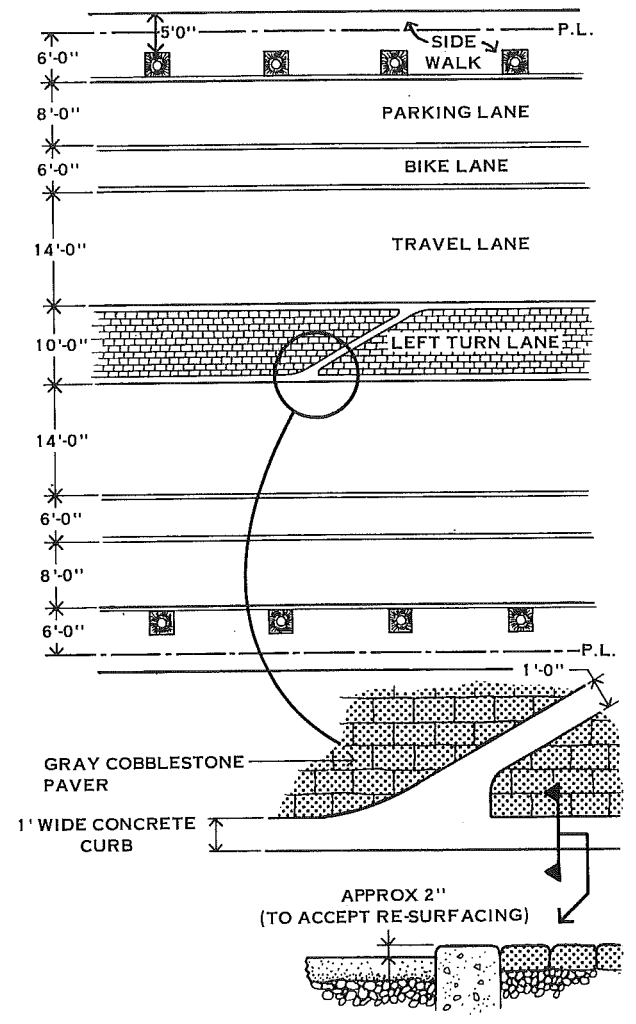


Monta Vista Design Guidelines

9. Street Sections

A. STEVENS CREEK STREET SECTION

1. Minimize visual impact of the broad expanse of paving required in order to visually tie together the Monta Vista Commercial Area into a single district.
 - A. Utilize a distinctive paving material in the center left turn lane to distinguish this lane from the through moving lanes and to separate the street into narrower bands with distinctive colors and textures.
 - B. Identify the bike lane with bold paint striping.
2. Provide for convenient bus stops without increasing the paved areas beyond that necessary to serve the expected traffic.
 - A. Incorporate stops into the parking lane where indicated per county transit district guidelines. Take dedication for bus turnouts to be improved pending installation of four lane option on Stevens Creek Boulevard.
 - B. Incorporate benches as specified in the guidelines on Street Furniture. (See also guidelines on Furniture, Fences and Accessories.)
3. Preserve the flexibility to alter the Stevens Creek Boulevard paved section to accommodate four moving lanes if traffic patterns warrant.
 - A. In this event, the pavement would be restriped and the bike lane moved to the curb eliminating on street parking.

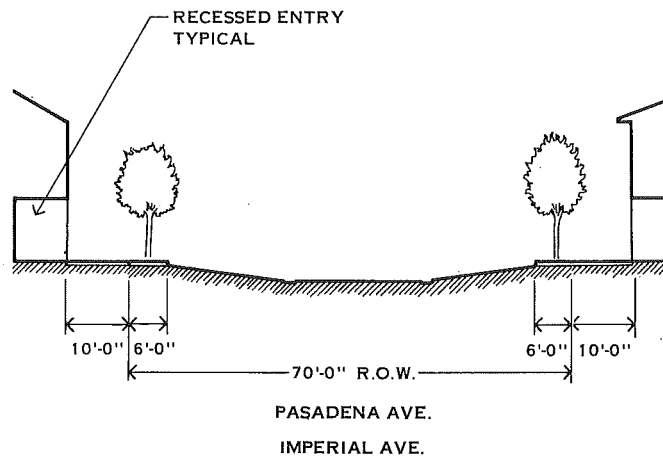


Monta Vista Design Guidelines

9. Street Sections (cont)

B. IMPERIAL AVENUE/PASADENA STREET SECTION

1. To discourage through traffic and establish a unifying focal point for the district, evaluate closing Pasadena Avenue to through traffic and create a landscaped commons in the public R.O.W.
2. Provide for an informal landscape character as established for the typical landscaping adjacent to buildings.
3. Incorporate concrete sidewalk adjacent to parking bays.



C. ORANGE AVENUE/GRANADA AVENUE

1. Minimize the amount of paved area, retain informal residential character, and direct pedestrian movement into the interior of the Monta Vista Commercial District.
- A. Confine paved section to 40'-0" with parking permitted on both sides of the street.

Monta Vista Design Guidelines

10. Furniture, Fences & Accessories

A. BENCHES

- Maintain continuity in the areawide design by utilizing the same bench style in a variety of installations.

A. Bench shall be oak wood bench style "full wood" without arms.

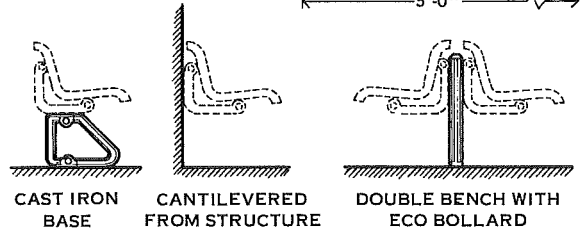
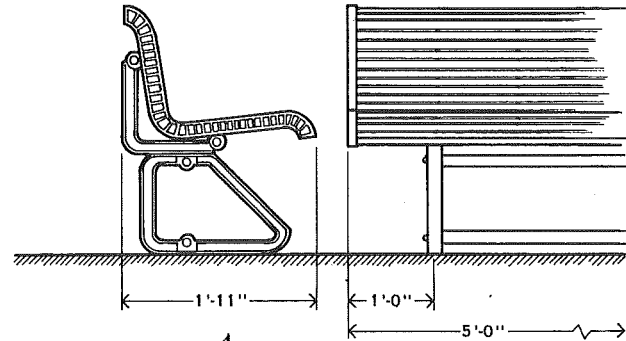
B. Benches to be mounted as double bench with bollard support wherever space permits, or single bench cantilevered from adjacent structure.

C. Cast iron members to be painted "Pioneer Square Green".

- Integrate benches into development projects to provide convenience for transit patrons and shoppers.

A. Developments adjacent to bus stops shall provide benches convenient to stop.

- Area beneath bench to be paved
- If possible, bench shall be incorporated beneath covered pedestrian walkways adjacent to buildings.



B. Developments fronting on the Central Commons shall provide for benches integrated into commons area.

C. Benches should be encouraged along major pedestrian paths at the perimeter of the parking areas.

B. TREE GRATES

- Where landscape guidelines provide, tree grates shall be installed in street tree planting.

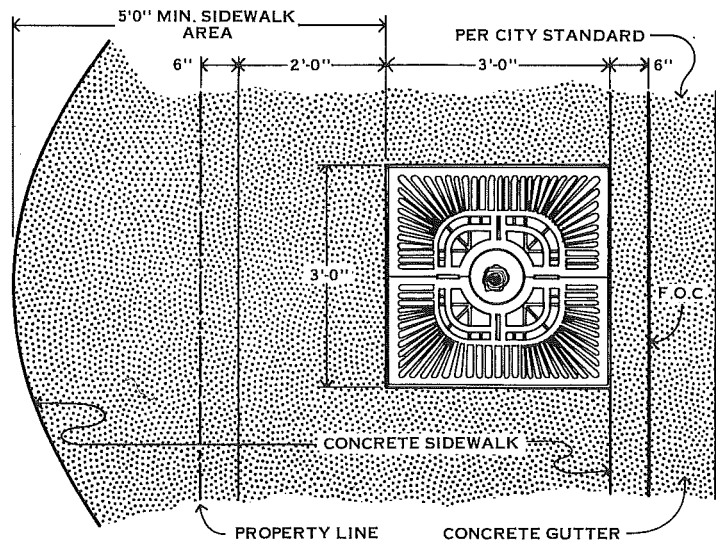
A. Tree grate shall be "standard flat" cast iron, nominal 3'0" square.

B. Provide metal frame recommended by manufacturer.

C. Spacing of tree grates to be typically 15'0" O.C.

D. Provide bubbler irrigation, dry wells, and rock base as part of installation.

E. Install tree root shields for street trees.

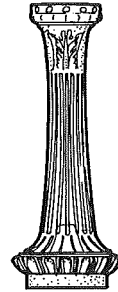


Monta Vista Design Guidelines

10. Furniture, Fences & Accessories (cont)

C. CONTROL OF VEHICULAR ACCESS

1. Decorative cast iron bollards may be utilized to control vehicular access across the Central Commons and may be integrated into development areas to protect sensitive landscapes or apparatus.
2. Orange/Granada closure shall accommodate emergency access. Evaluate perimeter curb and turf block to be maintained by Monta Vista Commercial Area Maintenance District.

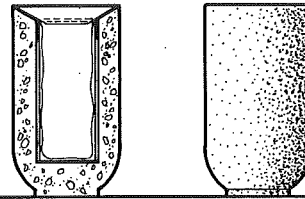


D. TRASH RECEPTACLES

1. Maintain continuity in the areawide design by utilizing the same trash receptacle in street right-of-ways and in all outdoor developed areas.

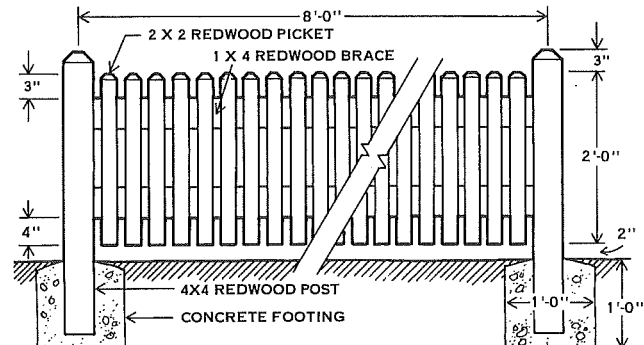
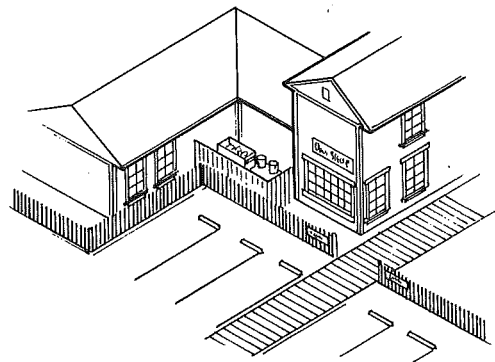
A. Round, cast concrete form with metal lid and removeable metal liners.

B. All exposed metal shall be primed and painted to match trim on benches, "Pioneer Square Green".



E. FENCES

1. Maintain continuity in the areawide design and clarify pedestrian movement patterns by visually identifying the perimeter pedestrian circulation around the parking areas with a typical decorative fence.
 - A. Provide a typical 3'0" high wood picket fence painted white at edge of developed areas, separating them from parking areas.
 - B. Provide a variety of gateways through the fence to the commercial areas.
 - C. Utilize fencing pattern to identify entrances and paths and enclose outside activity areas, e.g., outdoor eating places.
 - D. Incorporate signing into fence to minimize need for extraneous vertical elements as support for signs.
2. Screen trash receptacle areas, outside storage areas, or other unsightly service areas from major pedestrian zones with wood fencing compatible with the architectural style.



Monta Vista Design Guidelines

11. Signage

A. COMMERCIAL SIGNAGE

Size (Sign Area)

- Freestanding = 16 sq. ft. per side
- Building Mounted = 10% of first floor wall area on which sign is mounted.
- Directory Sign = 12 sq. ft.

Sign Type and Number

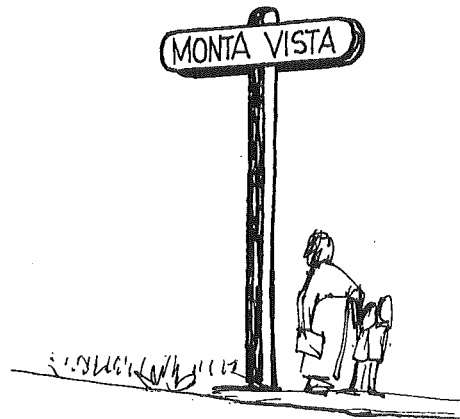
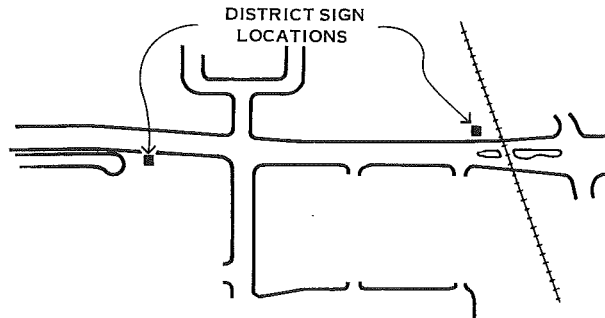
- As provided by Cupertino Sign Ordinance.
- Number of building mounted signs per business may be increased to accommodate:
 - under canopy signs
 - projected signs
 - rear entrance signs
- Prohibited signs include:
 - plexiglass
 - internally illuminated



B. DISTRICT SIGNS

Two locations for district identification signs have been identified. The district sign would be of sufficient scale to be recognizable by moving traffic. It would provide a strong symbolic identification, incorporate the place name -- "Monta Vista," and could list the services available or the proprietary store names.

1. The locations are at the entrances to the district on Stevens Creek Boulevard.
2. The water tower theme would provide for this veritable symbol of the rural, historic era.
3. The railroad stop theme would employ the existing sign-post but relocate it to one of the prescribed areas. A facimilie could be made to provide a complementary sign at the other entrance.



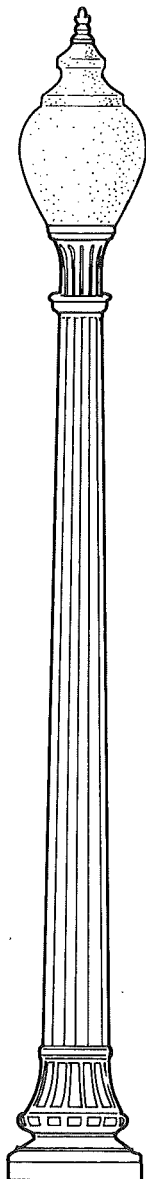
Monta Vista Design Guidelines

12. Lighting

A. STREET LIGHTING

1. Stevens Creek Boulevard street lighting to be 18-foot street lighting fixtures.

Illumination intensity and spacing to be set by city engineer.



B. EXTERIOR LIGHTING

1. Interior pedestrian zone lighting shall be provided by owner and incorporated into the architecture and fencing to minimize the addition of unnecessary poles in the landscape.
 - A. Lights shall be simple globes at typical 12-foot lighting mount or indirect lights and small spots designed to highlight entrances and signs.
2. Provide low level illumination in parking areas.
 - A. In Mature Trees – Incorporate flood lighting directly into branch structure.
 - B. In Large Planting Areas Beneath Trees – Provide direct burial or ground mounted flood lights to highlight underside of tree structure and leaves.



Monta Vista Design Guidelines

13. Implementation

A. NEW DEVELOPMENT/RE-DEVELOPMENT (including exterior remodeling) & CHANGES IN USE, MAY TRIGGER THE FOLLOWING REQUIREMENTS:

Site Improvements

- On-site Landscaping
 - Perimeter landscaping to screen parking lots
 - Irrigation of all landscape areas
 - Parking lot landscaping – trees
- Parking Lot Resurfacing and Restripping
- Screening of Roof Equipment
- Trash Enclosures

Reciprocal Vehicular Circulation

- Record Easements
 - Reciprocal ingress/egress
 - Parking (where necessary)

Pedestrian Easements

- Pedestrian easements over sidewalks or public walkways which are located on private property

Street Dedication (Standard Conditions)

Street Improvement (Standard Conditions)

- Curb, Gutter, Sidewalk and Half-street Paving
- Street Lights
- Street Furniture
- Landscaping
 - Street trees

Undergrounding of Public Utility Lines (Standard Conditions)

Agree to Join a Commercial Area Maintenance and Lighting District.

B. SUBDIVISION OF PROPERTY

Triggers improvement requirements and easements listed above (Section A)

C. SIGNAGE

New Signs/Change of Sign Copy (Face)

- Buildings or centers with 2 or more tenants require sign program.

D. REPAIR/MAINTENANCE OF EXISTING BUILDINGS/SIGNS

Repair/maintenance is defined as no change in any exterior material type.

No site, street, or sign requirements.

E. CDBG FUNDS

CDBG money targeted for Monta Vista should be used as follows:

- Street and public landscape improvements on Stevens Creek Boulevard.
- Street improvements on side streets.